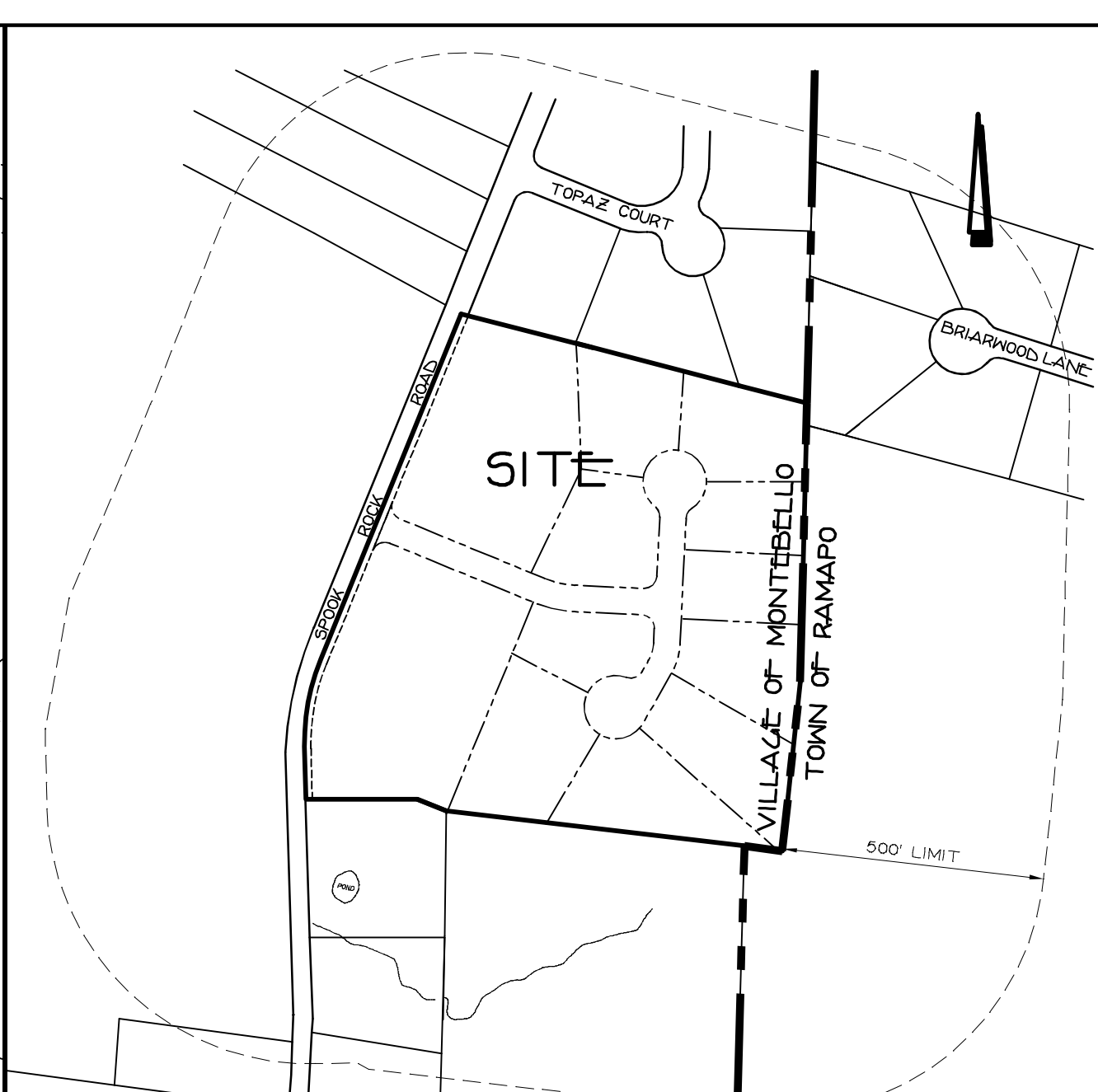


SITE PLAN NOTES:

- ALL UTILITIES UNDERGROUND. ELECTRIC SERVICE SHALL BE IN CONDUIT OF NOT LESS THAN 2" DIAMETER.
- THESE ARE NO COVENANTS, DEED RESTRICTIONS, EASEMENTS OR OTHER RESERVATIONS OF LAND RELATIVE TO THIS SITE EXCEPT AS SHOWN ON THIS PLAN SUBJECT TO THE FINDINGS OF A COMPLETE AND UP TO DATE TITLE SEARCH.
- NO SIGNS OTHER THAN THOSE SHOWN ON THESE DRAWINGS ARE PERMITTED WITHOUT PRIOR APPROVAL OF THE PLANNING BOARD. TENANTS ARE TO BE ADVISED OF THIS.
- THESE PLANS ARE BASED ON FIELD ENGINEERING DATA AND CERTIFIED HERETO BY: *[Signature]*
- ALL CONSTRUCTION TO MEET WITH CURRENT VILLAGE OF MONTEBELLO SPECIFICATIONS.
- NO BUILDING PERMITS WILL BE ISSUED UNTIL BUILD TIME AS THE EROSION CONTROL MEASURES REQUIRED AS PART OF THE EROSION CONTROL PLAN ARE INSTALLED TO THE SATISFACTION OF THE BUILDING INSPECTOR AND/OR VILLAGE ENGINEER.
- ALL TRAFFIC SIGNS SHALL CONFORM WITH NYS DOT MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY FROM AVAILABLE INFORMATION. THE CONTRACTOR SHALL CALL THE LOCAL UNDERGROUND UTILITIES PROTECTIVE ORGANIZATION TO HAVE ALL UNDERGROUND UTILITIES MARKED IN THE FIELD PRIOR TO ANY CLEARING, DIGGING OR CONSTRUCTION. THE CONTRACTOR SHALL ALSO VERIFY THE LOCATION AND INVERT OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. ANY UTILITY FOR WHICH NO EVIDENCE CAN BE SEEN ON THE SURFACE OF THE LANDS MAY NOT BE SHOWN ON THIS DRAWING.
- CONTRACTOR SHALL PROVIDE CURTAIN DRAINS IN AREAS OF HIGH WATER OR IF BLEEDING BANK CONDITIONS EXIST.
- IF ANY EXISTING TREES THAT ARE DESIGNATED TO REMAIN ON THESE PLANS ARE DESTROYED DURING CONSTRUCTION OR OTHERWISE, THEY SHALL BE REPLACED IN KIND WITH A MINIMUM 4" CALIBER TREE.
- OIL AND GREASE CONCENTRATION DISCHARGED INTO PUBLIC SEWERS SHALL BE KEPT BELOW 100 PPM IN ACCORDANCE WITH SEWER USE LAW LOCAL LAW NO. 2 OF 1984 AS AMENDED, ARTICLE IV, SECTION 4.5 AND SEWER USE LAW LOCAL LAW NO. 19 OF 1991. NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL THE GREASE TRAP HAS BEEN INSTALLED AND APPROVED BY THE TOWN RAMAPO SEWER DEPARTMENT. RECORDS ON PERIODIC CLEANING SHALL BE MAINTAINED BY THE OWNER FOR INSPECTION BY THE ROCKLAND COUNTY SEWER DISTRICT NO. 1.
- INSTALLATION OF ALL UTILITIES AND SITE WORK SHALL BE IN CONFORMANCE WITH OSHA REGULATIONS.
- AN EXTERIOR CHECK VALVE SHALL BE PROVIDED ON THE SOIL LINE IF THE LOWEST FLOOR TO BE SERVED IS BELOW THE UPSTREAM MANHOLE RIM ELEVATION.
- THE RETAINING WALLS OVER 4 FEET IN HEIGHT SHALL BE INSPECTED BY A NYS LICENSED PROFESSIONAL ENGINEER DURING INSTALLATION AND THE ADEQUACY OF THE RETAINING WALL SHALL BE CERTIFIED IN WRITING PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- ALL SEWER FEES ARE TO BE PAID TO THE TOWN OF RAMAPO EXCEPT THE IMPACT FEE WHICH IS PAYABLE TO ROCKLAND COUNTY SEWER DISTRICT NO. 1.
- SANITARY SEWER INFILTRATION AND EXFILTRATION RATE SHALL NOT EXCEED 24 GALLONS PER 24 HOURS PER INCH PER NORMAL DIAMETER IN INCHES. CERTIFICATES OF OCCUPANCY MAY NOT BE REQUESTED NOR ANY OCCUPANCY PERMITTED UNTIL A CERTIFICATE OF COMPLIANCE CERTIFIED BY A LICENSED NEW YORK STATE PROFESSIONAL ENGINEER IS SUBMITTED TO AND APPROVED BY THE TOWN OF RAMAPO. COPIES OF THIS CERTIFICATE SHOULD ALSO BE SENT TO THE ROCKLAND COUNTY DEPARTMENT OF HEALTH AND TO THE ROCKLAND COUNTY SEWER DISTRICT NO. 1.
- ALL MANHOLES SHALL BE SUCCESSFULLY VACUUM TESTED PRIOR TO BEING ACCEPTED BY THE TOWN OF RAMAPO. VACUUM TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH THE TOWN OF RAMAPO'S GUIDELINES UNLESS IF DISTRICT STANDARDS DIFFER FROM TOWN OF RAMAPO'S. THE STRICTER STANDARD WILL APPLY.
- ALL VEGETATION SHOWN ON THIS PLAN SHALL BE MAINTAINED IN A HEALTHY AND VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF THE PROPOSED USE OF THE SITE. ALL VEGETATION NOT SO MAINTAINED SHALL BE REPLACED WITH NEW COMPARABLE VEGETATION AT THE BEGINNING OF THE NEXT GROWING SEASON.
- SAVE HEAVY TO COMPLY WITH SECTION 2203 OF THE FIRE CODE OF NEW YORK STATE.
- EXISTING WOOD TRUSS ARENA AND WOOD FRAME HORSE STABLE HAVE BEEN REMOVED AS CONFIRMED BY BUILDING INSPECTOR'S FINAL INSPECTION FOR DEMOLITION PERMIT CLOSING ON FEBRUARY 14, 2024.

AREA OF WIDENING TO BE GRANTUOUSLY DEDICATED TO THE VILLAGE OF MONTEBELLO
AREA = 12,436 SF.



- NOTES:**
- THIS IS A SITE PLAN OF LOT 13, BLOCK 1, SECTION 4913 AS SHOWN ON THE TOWN OF RAMAPO TAX MAP.
 - AREA OF TRACT - 738,906 SF. = 16,962.9 AC.
PROP. AREA OF TRACT - WIDENING = 738,906 SF. = 12,436 SF.
= 726,470 SF. = 16,677.0 AC.
 - ZONED ER-80
 - PROPOSED USE: SINGLE FAMILY RESIDENTIAL
 - RECORD OWNER: STONEHEDGE HEIGHTS CORPORATION
150 EAST ROUTE 59
SPRING VALLEY, NEW YORK 10977
 - RECORD APPLICANT: STONEHEDGE HEIGHTS CORPORATION
150 EAST ROUTE 59
SPRING VALLEY, NEW YORK 10977
 - FIRE DISTRICT: TALLMAN FIRE DISTRICT
 - SCHOOL DISTRICT: RAMAPO CENTRAL
 - WATER DISTRICT: VEOLIA NORTH AMERICA
 - SEWER DISTRICT: ROCKLAND COUNTY DISTRICT #1
 - DATUM: NGVD 1929
 - THE UNDERSIGNED, OWNER AND/OR APPLICANT, HEREBY AGREES TO COMPLETE THE WITHIN SITE DEVELOPMENT PLAN AS DRAWN AND ALL IMPROVEMENTS SHOWN THEREON. THE APPLICANT/OWNER IS AWARE THAT NO CHANGES IN THIS PLAN MAY BE MADE UNLESS APPROVED BY THE PLANNING BOARD.

APPLICANT	DATE
OWNER	DATE

TABLE OF BULK REQUIREMENTS
RURAL PRESERVATION OVERLAY DISTRICT

REQUIRED	LOT AREA (GROSS SQ. FT.)	LOT AREA (NET SQ. FT.)	FRONT YARD SETBACK (FT.)	FRONT YARD SETBACK (FT.)	SIDE SETBACK (FT.)	TOTAL SIDE SETBACK (FT.)	REAR SETBACK (FT.)	REAR SETBACK (FT.)	STREET FRONTAGE (FT.)	MAXIMUM BLDG. LOT COVERAGE (%)	DEVELOPMENT COVERAGE (%)	FLOOR AREA RATIO (FAR)
LOT 1	117,049	114,405	272.9	35	35	20	50	20	685.52	35	*20	*0.10
LOT 2	41,552	35,995	230.6	35	35	20	50	20	455.96	35	40	0.20
LOT 3	40,309	38,761	142.5	35	35	20	50	20	90.00	35	40	0.20
LOT 4	40,056	40,052	142.5	35	35	20	50	20	90.00	35	40	0.20
LOT 5	27,470	26,404	143.3	35	35	20	50	20	142.17	35	40	0.20
LOT 6	28,093	28,028	150.7	35	35	20	50	20	130.67	35	40	0.20
LOT 7	36,529	34,076	125	35	35	20	50	20	108.25	35	40	0.20
LOT 8	44,802	35,078	125.6	35	35	20	50	20	122.47	35	40	0.20
LOT 9	50,820	38,510	143.7	35	35	20	50	20	90.00	35	40	0.20
LOT 10	51,176	49,146	142.5	35	35	20	50	20	90.00	35	40	0.20
LOT 11	30,777	30,277	172.7	35	35	20	50	20	435.61	35	40	0.20
LOT 12	143,344	135,003	315.6	35	35	20	50	20	835.1	35	*20	*0.10

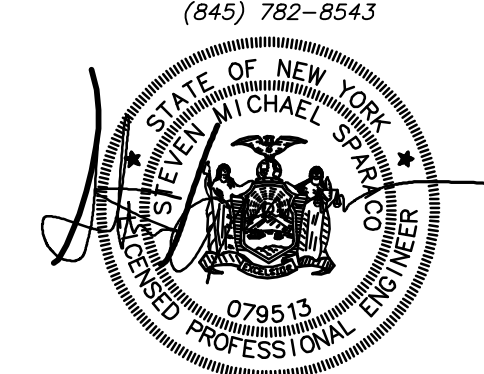
SCHEDULE OF DRAWINGS

- | | | |
|----------|--|----------|
| 1 OF 12 | PLANIMETRIC PLAN | 1" = 50' |
| 2 OF 12 | DRAINAGE, GRADING & UTILITIES PLAN (1 OF 2) | 1" = 30' |
| 3 OF 12 | DRAINAGE, GRADING & UTILITIES (2 OF 2) | 1" = 30' |
| 4 OF 12 | PLANNING, SEDIMENT & EROSION CONTROL AND REMOVALS PLAN | 1" = 50' |
| 5 OF 12 | EXISTING CONDITIONS PLAN | 1" = 50' |
| 6 OF 12 | LANDSCAPE & LIGHTING PLAN | 1" = 50' |
| 7 OF 12 | ROAD PROFILES | AS NOTED |
| 8 OF 12 | STORM PROFILES | AS NOTED |
| 9 OF 12 | SEWER PROFILES | AS NOTED |
| 10 OF 12 | WATER PROFILES | AS NOTED |
| 11 OF 12 | DETAILS (SHEET 1) | AS NOTED |
| 12 OF 12 | DETAILS (SHEET 2) | AS NOTED |

LEGEND

EXISTING	PROPOSED	ITEMS
---	---	PROPERTY LINE
---	---	BUILDING SETBACK LINE
○	○	SAN. SEWER MANHOLE
○	○	CLEAN-OUT
○	○	WATER VALVE
○	○	FIRE HYDRANT
○	○	WATER METER PIT
○	○	GAS VALVE
○	○	DRAINAGE MANHOLE
○	○	MHI WITH GRATE
○	○	CATCH BASIN
○	○	UTILITY POLE
---	---	OVERHEAD ELECTRIC

ALL UTILITIES ARE SHOWN IN AN APPROXIMATE WAY FROM AVAILABLE INFORMATION. THE CONTRACTOR SHALL CALL THE LOCAL UNDERGROUND UTILITIES PROTECTIVE ORGANIZATION TO HAVE ALL UNDERGROUND UTILITIES MARKED IN THE FIELD PRIOR TO ANY CLEARING OR ANY CONSTRUCTION. THE CONTRACTOR SHALL ALSO VERIFY THE LOCATION, SIZE AND INVERT OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. IF NO EVIDENCE CAN BE SEEN ON THE SURFACE OF THE LANDS, NO UTILITIES SHALL BE SHOWN ON THIS DRAWING.



REVISIONS

NO.	DESCRIPTION	DATE
1.	REV. P.A.R. CALCULATIONS - 6/30/23	
2.	REV. 4-LOT SUBDIVISION - 7/1/23	
3.	GENERAL REVISIONS - 7/1/23	
4.	GENERAL REVISIONS - 7/20/23	
5.	GENERAL REVISIONS - 8/10/23	
6.	REV. 2-LOT SUBDIVISION - 10/28/23	
7.	REV. WIDEN ROAD TO 30' - 2/9/24	
8.	GENERAL - 2/28/24	
9.	GENERAL REVISIONS - 5/9/24	
10.	GENERAL REVISIONS - 5/28/24	
11.	REV. FOR FINAL SIGNATURE - 6/28/24	
12.	GENERAL REVISIONS - 7/1/24	

PLANIMETRIC PLAN FOR REVISED SUBDIVISION OF STONEHEDGE HEIGHTS LOCATED IN VILLAGE OF MONTEBELLO TOWN OF RAMAPO ROCKLAND COUNTY, NEW YORK

SPARACO & YOUNGBLOOD, PLLC
CIVIL ENGINEERING & LANDSCAPE ARCHITECTURE
18 NORTH MAIN STREET
HARRIMAN, NY 10926
TEL: (845) 782-8543
FAX: (845) 782-2943
WWW.SPARACOENGINEERS.COM

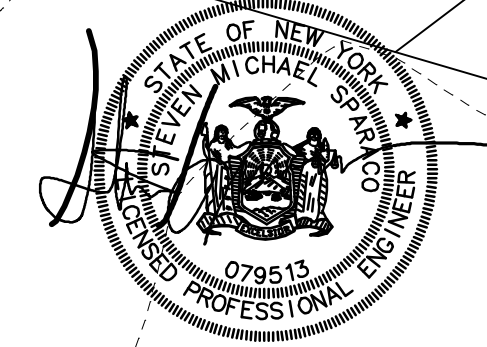
YB-4606
NOV. 4, 2022
1" = 50'
1 OF 12

- GENERAL NOTES:**
- CONTRACTOR TO VERIFY LOCATION, SIZE AND INVERTS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES AND HAVE ALL UTILITIES FIELD LOCATED BY RESPECTIVE UTILITY COMPANY AND SHALL ASSUME FULL RESPONSIBILITY AND SHALL BE SOLELY RESPONSIBLE FOR MAINTAINING CONTINUOUS UTILITY SERVICE AND REPAIRS TO ANY DAMAGE.
 - ALL EXISTING OFF-SITE PAVEMENT, FENCES, CURBS, WALKS AND OTHER FACILITIES DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST.
 - EXISTING UTILITIES & STRUCTURES THAT ARE TO BE REMOVED AND/OR REPLACED SHALL BE REMOVED AND LEGALLY DISPOSED OF BY THE CONTRACTOR.
 - PROJECT SAFETY AND TRAFFIC MAINTENANCE ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
 - UTILITIES AND UTILITY STRUCTURES WHOSE LOCATIONS ARE UNKNOWN MAY BE AFFECTED BY THE PROPOSED WORK. UPON FINDING SUCH UTILITIES, THE CONTRACTOR'S RESPONSIBILITY SHALL BE TO NOTIFY THE OWNER AND MAINTAIN THE UTILITIES IN WORKING ORDER UNTIL THEIR DISPOSITION IS RESOLVED.
 - CONTRACTOR TO COORDINATE WITH ALL COMPANIES TO ASSURE ADEQUATE SUPPLY AND SCHEDULING OF NEW SERVICE, WHERE REQUIRED, TO FIT THE CONSTRUCTION SCHEDULING AND SCHEDULE TO ASSURE NO DAMAGE OR DISTURBANCE TO COMPLETED WORK.
 - ALL NEW UTILITY SERVICE CONNECTIONS, INCLUDING LINES AND EQUIPMENT FOR PROVIDING POWER AND/OR COMMUNICATIONS, ARE TO BE INSTALLED UNDERGROUND.
 - THE EXTENT OF THE CONSTRUCTION AND DISTURBANCE AREAS SHALL BE THE MINIMUM REQUIRED TO PERFORM THE CONTRACT WORK WITH AS MINIMAL EFFECT ON ADJACENT AREAS AS POSSIBLE.
 - ALL NEW STORM DRAINAGE PIPING TO BE SMOOTH BORE CORRUGATED HIGH DENSITY POLYETHYLENE (HDPE) UNLESS OTHERWISE SPECIFIED.
 - ALL ROOF LEADERS TO BE 4" DIA. SDR 35 PVC PIPE, SHALL BE CONNECTED TO CISTERN/ DRYWELLS WHERE APPLICABLE.
 - ALL NEW WATER MAINS AND RELATED APPURTENANCES TO BE SPECIFIED BY ARCHITECT'S MECHANICAL ENGINEER.
 - ALL SANITARY HOUSE CONNECTIONS TO BE 6" DIA. CAST IRON PIPE OR AS PER STANDARDS LISTED IN TABLE 700.9 OF THE NYS PLUMBING CODE WITH A MINIMUM GRADE OF 1/2" TO THE FIRST CLEAN OUT OUTSIDE THE BUILDING. BEYOND THE FIRST CLEAN OUT, SDR 35 PVC PIPE MAY BE USED IN LIEU OF CAST IRON.
 - ANY SUBSTITUTIONS TO BE REQUESTED IN WRITING AND APPROVED BY THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS WITH REGARDS TO DEMOLITION AND LEGAL DISPOSAL OF EXISTING STRUCTURES, WALKS AND DRIVEWAYS.
 - ANY EXISTING HOUSE CONNECTION PROPOSED TO BE ABANDONED MUST BE PLUGGED BETWEEN THE EDGE OF THE RIGHT-OF-WAY AND THE CURB LINE WITH A PERMANENT WATER-TIGHT PLUG OR CAP ENCASED IN CONCRETE.
 - WHERE FINISHED GRADE ELEVATION AT BUILDING WALL IS LESS THAN 24" BELOW THE FINISHED FLOOR CONSULT WITH ARCHITECT FOR CHANGES IN FOUNDATION AND SILL DESIGN.
 - CONTRACTOR TO OBTAIN AND SUBMIT SHOP DRAWINGS FOR ALL STRUCTURES TO DESIGN ENGINEER FOR REVIEW AND APPROVAL BEFORE MANUFACTURING.
 - RETAINING WALLS SHALL BE LESS THAN 4 FEET IN HEIGHT. RETAINING WALLS MORE THAN 4 FEET IN HEIGHT ARE REQUIRED TO BE DESIGNED BY A CERTIFIED STRUCTURAL ENGINEER.
 - THIS PLAN IS BASED ON ARCHITECTURAL PLANS BY ERIC OSBORN, ARCHITECT DATED JUNE 8, 2021.
 - AN INTERIOR CHECK VALVE SHALL BE PROVIDED ON THE SOIL LINE IF CAST IRON INVERT IS BELOW THE UPSTREAM MANHOLE RIM ELEVATION.
 - A PORTABLE PUMP TO BE USED TO DRAIN THE POND FROM THE PROPOSED PUMP CHAMBER AT THE TIME OF REQUIRED MAINTENANCE.
 - CISTERNS WILL BE PROVIDED WITH SUBMERSIBLE PUMPS PIPED TO LOOSE REELS MOUNTED AT PROPOSED BUILDINGS ON SITE TO BE USED FOR IRRIGATION OR OTHER PURPOSES. BUILDING MECHANICAL ENGINEER TO SPECIFY SUBMERSIBLE PUMP AND PROVIDE DESIGN SPECIFICATIONS. CISTERNS TO BE DRAINED AFTER EVERY RAIN EVENT EXCEPT WINTER TIME OPERATION WHERE IF WATER WILL BE ALLOWED TO PASS THROUGH DRAINING STORM EVENTS, CISTERN TO BE DRAINED AND NORMAL OPERATIONS TO RESUME FROM SPRINGTIME THROUGH FALL. DESIGN TO INCLUDE A MANUAL SHUT-OFF ADJACENT TO EACH LOOSE REEL AND WILL OPERATE A PUMP TO LOWER LAWN, TREES AND SHRUBS, WHEN A LOOSE REEL PUMP IS TURNED OFF THE WATER LINE WILL SELF DRAIN BACK TO THE CISTERN SO THAT THERE WILL BE NO NEED FOR WINTERIZATION.
 - ANY SEWER CONNECTIONS OR SEWER MAINS WITHIN 25 FEET OF AN INFILTRATION PRACTICE MUST BE ENCASED IN CONCRETE OR SLEEVED.
 - WATER CONNECTION TO THE TOWN'S GOLF COURSE MUST BE COMPLETED UPON COMPLETION OF PHASE I ROAD CONSTRUCTION AS AGREED.

- WATER MAIN SAFETY NOTICES:**
- WHEN WORKING AT OR NEAR A LIVE WATER MAIN EVERY EFFORT IS TO BE MADE TO MAINTAIN STABILITY.
 - EXISTING TURBID BLOBS ARE NOT TO BE REMOVED UNLESS THE WATER MAIN HAS BEEN PROPERLY RESTRAINED USING MEANS ACCEPTABLE TO THE LOCAL WATER COMPANY OR DEPARTMENT.
 - WHEN POSSIBLE A WATER MAIN SHOULD BE TURNED OFF AND PRESSURE RELIEVED BEFORE EXCAVATING MAIN.

LEGEND

EXISTING	PROPOSED	ITEMS
---	---	PROPERTY LINE
---	---	BUILDING SETBACK LINE
---	---	SANITARY SEWER
---	---	SAN. SEWER MANHOLE
---	---	SEWER SERVICE
---	---	CLEAN-OUT
---	---	WATER MAIN
---	---	WATER SERVICE
---	---	WATER VALVE
---	---	FIRE HYDRANT
---	---	WATER METER PIT
---	---	GAS MAIN
---	---	GAS SERVICE
---	---	GAS VALVE
---	---	DRAIN PIPE
---	---	DRAINAGE MANHOLE
---	---	DRAINAGE M/I W/GRATE
---	---	CATCH BASIN
---	---	UTILITY POLE
---	---	UNDERGROUND UTILITIES
---	---	OVERHEAD ELECTRIC
---	---	10' CONTOUR INTERVAL
---	---	2' CONTOUR INTERVAL
---	---	SPOT GRADE
---	---	WALL & CURB ELEV.



REVISIONS

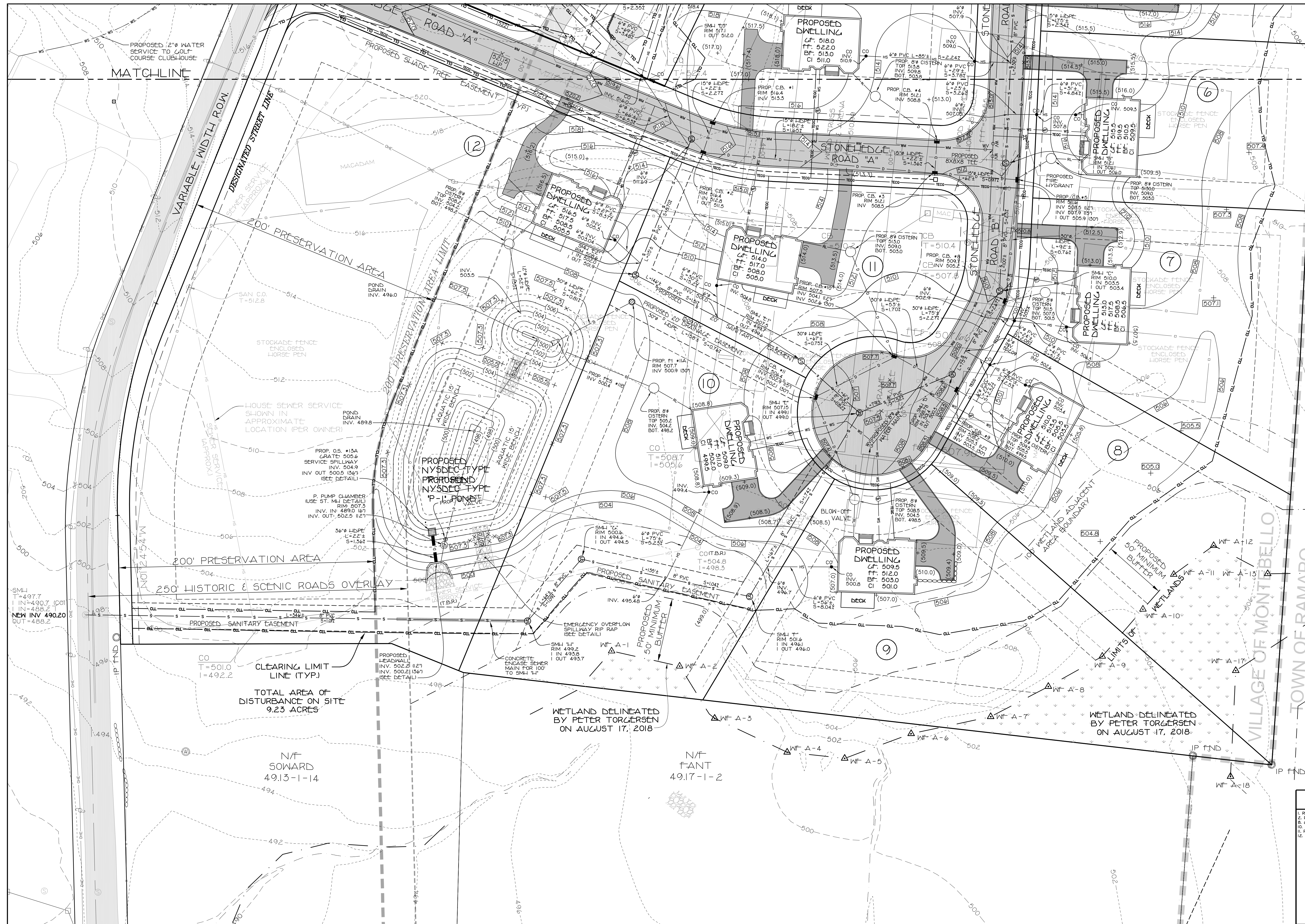
NO.	DATE	DESCRIPTION
1	REV. PLANS AS PER VILL. 11-17-21	
2	REV. PLANS AS PER VILL. 12-15-21	
3	GENERAL - 2/28/24	
4	GENERAL REVISIONS - 5/28/24	
5	REV. FOR FINAL SIGNATURE - 1/28/24	
6	GENERAL REVISIONS - 7/1/24	

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE TOWN OF RAMAPO, N.J. ON THE _____ DAY OF _____, 2021.	CHAIRMAN
APPROVED BY RESOLUTION OF THE BOARD OF THE TOWN OF RAMAPO, N.J. ON THE _____ DAY OF _____, 2021.	CLERK

PROPOSED DRAINAGE GRADING & UTILITIES PLAN
 (SHEET 1 OF 2) FOR REVISED SUBDIVISION OF
STONEHEDGE HEIGHTS
 LOCATED IN
 VILLAGE OF MONTEBELLO
 TOWN OF RAMAPO
 ROCKLAND COUNTY, NEW YORK
 GRAPHIC SCALE

SPARACO & YOUNG BLOOD, PLLC
 CIVIL ENGINEERING SURVEYING
 18 NORTH MAIN STREET
 P.O. BOX 918
 HARRISBURG, NY 10926
 TEL: (845) 782-5043
 FAX: (845) 782-5000
 WWW: WWW.SPARACO.COM

DATE: YB-4606
 AUG. 4, 2021
 SCALE: 1" = 30'
 SHEET: 2 OF 12



- GENERAL NOTES:**
- CONTRACTOR TO VERIFY LOCATION, SIZE AND INVERTS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES AND HAVE ALL FIELD LOCATIONS OF ALL EXISTING UTILITIES AND SERVICES TO BE MAINTAINED, CONTINUOUS UTILITY SERVICE AND REPAIRS TO ANY DAMAGE.
 - ALL EXISTING OFF-SITE PAVEMENT, FENCES, CURBS, WALKS AND OTHER FACILITIES DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED BY THE CONTRACTOR AT HIS OWNERS RISK.
 - EXISTING UTILITIES & STRUCTURES THAT ARE TO BE REMOVED AND/OR REPLACED SHALL BE REMOVED AND LEGALLY DISPOSED OF BY THE CONTRACTOR.
 - PROJECT SAFETY AND TRAFFIC MAINTENANCE ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
 - UTILITIES AND UTILITY STRUCTURES WHOSE LOCATIONS ARE UNKNOWN MAY BE DISTURBED BY THE PROPOSED WORK. WORKERS ARE REQUIRED TO FIT THE CONSTRUCTION SCHEDULE AND SEQUENCE TO NOTIFY THE OWNER AND MAINTAIN THE UTILITIES IN WORKING ORDER UNTIL THEIR DISPOSITION IS RESOLVED.
 - CONTRACTOR TO COORDINATE WITH ALL COMPANIES TO ASSURE ADEQUATE SUPPLY AND SCHEDULE OF NEW SERVICE WHERE REQUIRED TO FIT THE CONSTRUCTION SCHEDULE AND SEQUENCE TO NOTIFY THE OWNER AND MAINTAIN THE UTILITIES IN WORKING ORDER UNTIL THEIR DISPOSITION IS RESOLVED.
 - ALL NEW UTILITY SERVICE CONNECTIONS, INCLUDING LINES AND EQUIPMENT FOR PROVIDING POWER AND/OR COMMUNICATIONS ARE TO BE INSTALLED UNDERGROUND UNLESS OTHERWISE SPECIFIED.
 - THE EXTENT OF THE CONSTRUCTION AND DISTURBANCE AREAS SHALL BE THE MINIMUM REQUIRED TO PERFORM THE CONTRACT WORK WITH AS MINIMAL EFFECT ON ADJACENT AREAS AS POSSIBLE.
 - ALL NEW STORM DRAINAGE PIPING TO BE SMOOTH BORE CORRUGATED HIGH DENSITY POLYETHYLENE (HDPE) UNLESS OTHERWISE SPECIFIED.
 - ALL ROOF LEADERS TO BE 4" DIA. SDR 35 PVC PIPE SHALL BE CONNECTED TO GUTTER/ DOWNSPOUTS WHERE APPROPRIATE.
 - ALL NEW WATER MAINS AND RELATED APPURTENANCES TO BE SPECIFIED BY ARCHITECTS MECHANICAL ENGINEER.
 - ALL SANITARY LIQUID CONNECTIONS TO BE 4" DIA. CAST IRON PIPE OR AS PER STANDARDS LISTED IN TABLE 200.3 OF THE NYC PLUMBING CODE WITH A MINIMUM GRADE OF 2% TO THE FIRST CLEAN OUT OUTSIDE THE BUILDING BEYOND THE FIRST CLEAN OUT. SDR 35 PVC PIPE MAY BE USED IN LIEU OF CAST IRON.
 - ANY SUBSTITUTIONS TO BE REQUESTED IN WRITING AND APPROVED BY THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS WITH REGARDS TO DEMOLITION AND LEGAL DISPOSAL OF EXISTING STRUCTURES, WALKS AND DRIVEWAYS.
 - ANY EXISTING LIQUID CONNECTION PROPOSED TO BE ABANDONED MUST BE PLUGGED BETWEEN THE EDGE OF THE RIGHT-OF-WAY AND THE CURB LINE WITH A PERMANENT WATER-TIGHT PLUG OR CAP ENCASED IN CONCRETE.
 - WHERE FINISHED GRADE ELEVATION AT BUILDING WALL IS LESS THAN 24" BELOW THE FINISHED FLOOR CONSULT WITH ARCHITECT FOR CHANGES IN FOUNDATION AND SILL DESIGN.
 - CONTRACTOR TO OBTAIN AND SUBMIT SHOP DRAWINGS FOR ALL STRUCTURES TO DESIGN ENGINEER FOR REVIEW AND APPROVAL BEFORE MANUFACTURING.
 - RETAINING WALLS SHALL BE LESS THAN 4 FEET IN HEIGHT. RETAINING WALLS MORE THAN 4 FEET IN HEIGHT ARE REQUIRED TO BE DESIGNED BY A REGISTERED STRUCTURAL ENGINEER.
 - THIS PLAN IS BASED ON ARCHITECTURAL PLANS BY ERIC OSBORN, ARCHITECT DATED JUNE 8, 2021.
 - AN INTERIOR CHECK VALVE SHALL BE PROVIDED ON THE SOIL LINE IF CAST IRON INVERT IS BELOW THE UPSTREAM MANHOLE RIM ELEVATION.
 - A PORTABLE PUMP TO BE USED TO DRAIN THE POND FROM THE PROPOSED PUMP CHAMBER AT THE TIME OF REQUIRED MAINTENANCE.
 - CISTERNS WILL BE PROVIDED WITH SUBMERSIBLE PUMPS PIPED TO LIQUID REELS MOUNTED AT PROPOSED BUILDING ON SITE TO BE USED FOR IRRIGATION OR OTHER PURPOSES. BUILDING MECHANICAL ENGINEER TO SPECIFY SUBMERSIBLE PUMP AND PROVIDE DESIGN SPECIFICATIONS. CISTERNS TO BE DRAINED AFTER EVERY RAIN EVENT EXCEPT WINTER. TIME OPERATION WHERE IT RAIN WILL BE ALLOWED TO PASS THROUGH DURING STORM EVENTS CISTERN TO BE DRAINED AND NORMAL OPERATION TO RESUME FROM SPRING THROUGH FALL. DESIGN TO INCLUDE A MANUAL SWITCH ADJACENT TO EACH LIQUID REEL AND WILL OPERATE A PUMP TO WATER LAWS, TREES AND SHRUBS. WHEN A LIQUID REEL PUMP IS TURNED OFF THE WATER LINE WILL SELF DRAIN BACK TO THE CISTERN SO THAT THERE WILL BE NO NEED FOR VENTILATION.
 - ANY SEWER CONNECTIONS OR SEWER MAINS WITHIN 25 FEET OF AN INFILTRATION PRACTICE MUST BE ENCASED IN CONCRETE OR GLEEVED.
 - WATER CONNECTION TO THE TOWN'S GOLF COURSE MUST BE COMPLETED UPON COMPLETION OF PAVED ROAD CONSTRUCTION AS AGREED.

- WATER MAIN SAFETY NOTES:**
- NEVER WORKING AT OR NEAR A LIVE WATER MAIN EVERY EFFORT IS TO BE MADE TO MAINTAIN STABILITY.
 - EXISTING TRESTLE BLOCKS ARE NOT TO BE REMOVED UNLESS THE WATER MAIN HAS BEEN PROPERLY RESTRAINED USING MEANS ACCEPTABLE TO THE LOCAL WATER COMPANY OR DEPARTMENT.
 - WHEN POSSIBLE A WATER MAIN SHOULD BE TURNED OFF AND PRESSURE RELIEVED BEFORE EXPOSING MAIN.

LEGEND

EXISTING/PROPOSED	ITEMS
---	PROPERTY LINE
---	BUILDING SETBACK LINE
---	SANITARY SEWER
---	SAN. SEWER MANHOLE
---	SEWER SERVICE
---	CLEAN-OUT
---	WATER MAIN
---	WATER SERVICE
---	WATER VALVE
---	FIRE HYDRANT
---	WATER METER PIT
---	GAS MAIN
---	GAS SERVICE
---	GAS VALVE
---	DRAIN PIPE
---	DRAINAGE MANHOLE
---	DRAINAGE MISC. INGRATE
---	CATCH BASIN
---	UTILITY POLE
---	UNDERGROUND UTILITIES
---	OVERHEAD ELECTRIC
---	10' CONTOUR INTERVAL
---	2' CONTOUR INTERVAL
---	SPOT GRADE
---	WALL & CURB ELEV.

REVISIONS

NO.	DATE	DESCRIPTION
1	REV. PLANS AS PER VILL. 11-11-21	
2	REV. PLANS AS PER VILL. 12-15-21	
3	GENERAL - 2/28/24	
4	GENERAL REVISIONS - 5/28/24	
5	REV. FOR FINAL SIGNATURE - 6/28/24	
6	GENERAL REVISIONS - 7/1/24	

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE TOWN OF RAMAPO ON THE DAY OF AUGUST 4, 2021.

PROPOSED DRAINAGE, GRADING & UTILITIES PLAN (SHEET 2 OF 2) FOR REVISED SUBDIVISION OF STONEHEDGE HEIGHTS LOCATED IN VILLAGE OF MONTEBELLO TOWN OF RAMAPO ROCKLAND COUNTY, NEW YORK

STEVEN M. SPARACO, PE
18 NORTH MAIN STREET
HARRISMAN, NEW YORK 10926
(845) 782-8543

SPARACO & YOUNGBLOOD, PLLC
CIVIL ENGINEERING, LANDSCAPE ARCHITECTURE & SITE PLANNING
18 NORTH MAIN STREET
HARRISMAN, NY 10926
TEL: (845) 782-8543
FAX: (845) 782-8540
WWW.SPACOBLO.COM

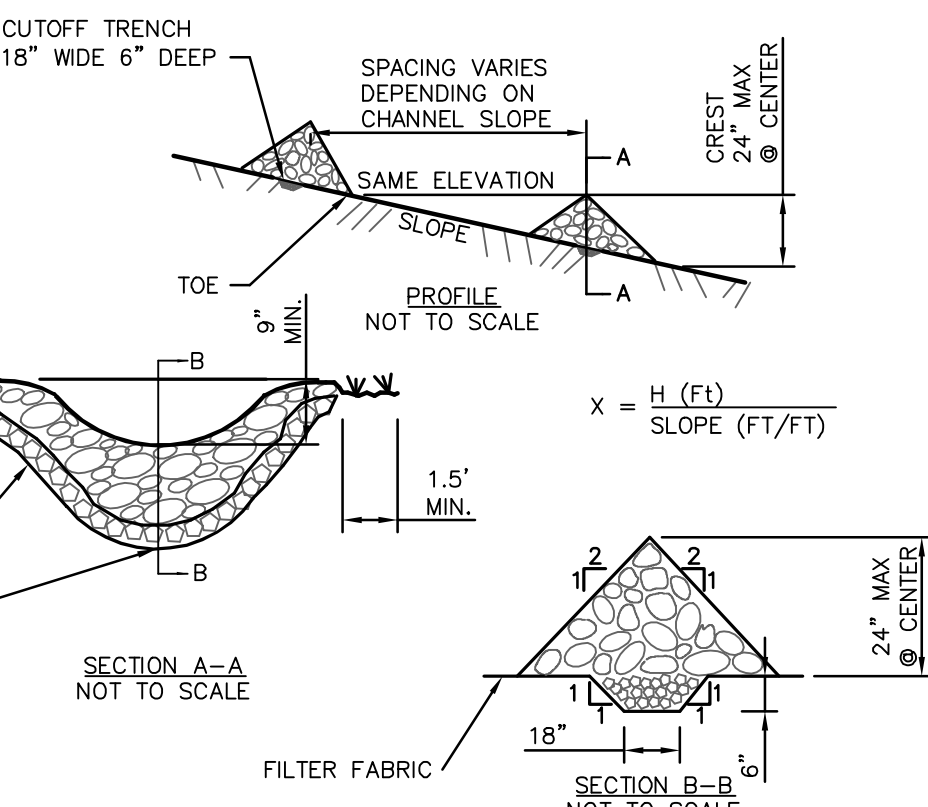
CHAIRMAN: _____
CLERK: _____

DATE: AUG. 4, 2021
SCALE: 1" = 30'
SHEET: 5 OF 12

ALL UTILITIES ARE SHOWN IN AN APPROXIMATE WAY FROM AVAILABLE INFORMATION. THE CONTRACTOR SHALL CALL THE LOCAL UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION TO HAVE ALL UNDERGROUND UTILITIES MARKED IN THE FIELD PRIOR TO ANY CLEARING OR ANY CONSTRUCTION. THE CONTRACTOR SHALL ALSO VERIFY THE LOCATION, SIZE AND INVERT OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. ANY UTILITY FOR WHICH NO EVIDENCE CAN BE SEEN ON THE SURFACE OF THE LANDS MAY NOT BE SHOWN ON THIS DRAWING.

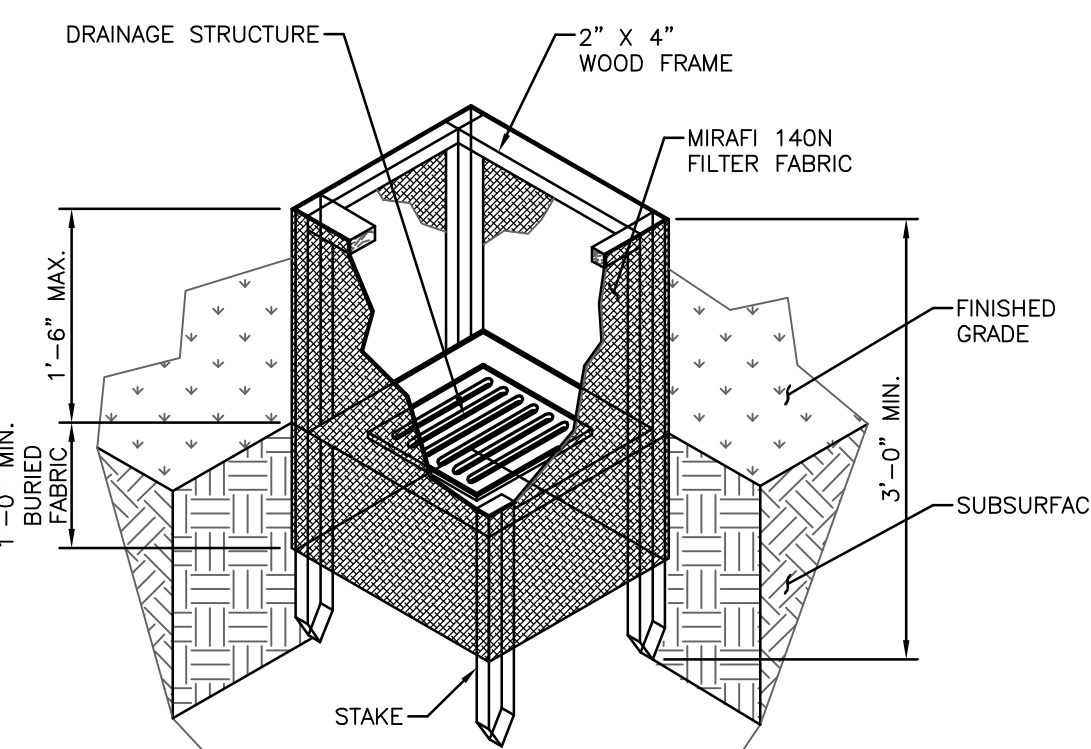
1-800-942-7942





- CONSTRUCTION SPECIFICATIONS**
- STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINES, GRADES AND LOCATIONS SHOWN IN THE PLAN.
 - SET SPACING OF CHECK DAMS TO ASSUME THAT THE ELEVATIONS OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION OF THE TOE OF THE UPSTREAM DAM.
 - EXTEND THE STONE A MINIMUM OF 1.5 FEET BEYOND THE DITCH BANKS TO PREVENT CUTTING AROUND THE DAM.
 - PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
 - ENSURE THAT CHANNEL APPURTENANCES SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONE.
 - MAXIMUM DRAINAGE AREA 2 ACRES.
 - SYMBOL:

TEMPORARY CHECK DAM
N.T.S.



- NOTES:**
- FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
 - CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
 - STAKE MATERIALS WILL BE STANDARD 2" X 4" WOOD OR EQUIVALENT METAL WITH A MINIMUM LENGTH OF 3 FEET.
 - SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPACES GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
 - FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
 - A 2" X 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.

FIELD INLET PROTECTION DETAIL
N.T.S.

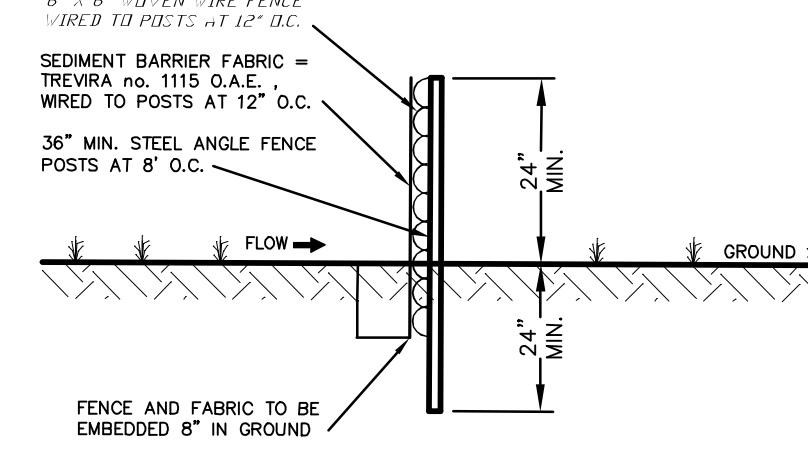
- EROSION CONTROL INFORMATION**
EROSION AND SEDIMENT CONTROL PLAN - CONSTRUCTION SEQUENCE:
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO ANY GRADING OPERATIONS AND INSTALLATION OF PROPOSED STRUCTURES OR UTILITIES.
 - ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL REMAIN IN PLACE AND BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETED AND/OR STABILIZED.
 - INSTALL STABILIZED CONSTRUCTION ENTRANCE AS INDICATED ON PLAN.
 - INSTALL SILT FENCE DOWN SLOPE OF ALL AREAS TO BE DISTURBED AND DOWN SLOPE OF ALL AREAS DESIGNATED FOR TOPSOIL STOCKPILING.
 - CONSTRUCT BERMS, TEMPORARY SHALES AND PILES AS NECESSARY TO DIRECT RUNOFF TO TEMPORARY SEDIMENTATION ENTRAPMENT AREAS.
 - CLEAR EXISTING TREES, VEGETATION AND EXISTING STRUCTURES FROM AREAS TO BE FILLED OR EXCAVATED. STRIP AND STOCKPILE TOPSOIL FROM AREAS TO BE DISTURBED. SEED STOCKPILES TOPSOIL WITH TEMPORARY RYE GRASS COVER.
 - PERFORM EXCAVATION AND FILL TO BRING LOTS TO DESIGN GRACE. ANY DISTURBED AREAS TO REMAIN BARE SHOULD BE SEEDS WITH TEMPORARY RYE GRASS.
 - INSTALL UNDERGROUND UTILITIES, MANHOLES AND CATCH BASINS. GRATES OF CURB AND FIELD INLETS SHOULD BE LEFT AT ELEVATIONS WHICH PERMIT PROPER COLLECTION OF SURFACE RUNOFF.
 - INSTALL INLET PROTECTION AT CURB AND FIELD INLETS.
 - CONSTRUCT CURBS AND INSTALL BASE AND BINDER COURSES OF PAVED AREAS. RAISE GRATES OF THE CURB AND FIELD INLETS ACCORDINGLY.
 - COMPLETE THE GRADING.
 - INSTALL SURFACE COURSE OF PAVEMENT, RAISE GRATES OF CURBS AND FIELD INLETS TO FINAL ELEVATIONS.
 - UPON COMPLETION OF CONSTRUCTION ALL DISTURBED AREAS ARE TO BE SEEDS WITH 1/2 LB. OF RYE GRASS PER 1000 SQUARE FEET OR DISTURBED AREA. ALL TEMPORARY DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS REGRADED, PLANTED OR TREATED IN ACCORDANCE WITH THE APPROVED SITE PLANS.
 - FOR INDIVIDUAL HOUSE & SEPTIC CONSTRUCTION FOLLOW STEPS #1 TO #13 WHERE APPLICABLE.
 - BARE SOIL SHOULD BE SEEDS WITHIN 14 DAYS OF EXPOSURE. HOWEVER CONSTRUCTION IS SUSPENDED OR COMPLETED AREAS SHOULD BE SEEDS DOWN OR COVERED IMMEDIATELY. UPON COMPLETION A PERENNIAL MIX NEEDS TO BE USED TO ENSURE CONTINUAL STABILIZATION.

- STANDARD EROSION CONTROL NOTTS**
- AN EROSION CONTROL SYSTEM WILL BE UTILIZED BY THE DEVELOPER TO MINIMIZE THE PRODUCTION OF SEDIMENT FROM THE SITE. METHODS TO BE UTILIZED WILL BE THOSE FOUND MOST EFFECTIVE FOR THE SITE AND SHALL INCLUDE ONE OR MORE OF THE FOLLOWING AS APPLICABLE:
- TEMPORARY SEDIMENTATION ENTRAPMENT AREAS SHALL BE PROVIDED AT KEY LOCATIONS TO INTERCEPT AND CLARIFY SILT. SILT TRAP FROM THE SITE SHALL BE EXCAVATED OR MAY BE CREATED UTILIZING EARTHEN BERMS, RIP-RAP, CRUSHED STONE DAMS OR OTHER SUITABLE MATERIALS. EXISTING DRAINAGE STRUCTURES OR OTHER CONDUCTIONS SHALL BE CONSTRUCTED TO INSURE THAT ALL SILT LADEN WATERS ARE DIRECTED INTO THE ENTRAPMENT AREAS WHICH SHALL BE CLEARED PERIODICALLY DURING THE COURSE OF CONSTRUCTION. THE COLLECTED SILT SHALL BE DEPOSITED IN AREAS SAFE FROM FURTHER EROSION.
 - ALL DISTURBED AREAS EXCEPT ROADWAYS WHICH WILL REMAIN UNFINISHED FOR MORE THAN 14 DAYS SHALL BE TEMPORARILY SEEDS WITH 1/2 LB. OF RYE GRASS OR MULCHED WITH 100 LBS. OF STRAW OR HAY PER 1000 SQUARE FEET. ROADWAYS SHALL BE STABILIZED AS RAPIDLY AS PRACTICAL BY INSTALLATION OF THE BASE COURSE.
 - SILT THAT LEAVES THE SITS IN SITE OF THE REQUIRED PRECAUTIONS SHALL BE COLLECTED AND REMOVED AS DIRECTED BY APPROPRIATE MUNICIPAL AUTHORITIES.
 - AT THE COMPLETION OF THE PROJECT, ALL TEMPORARY SILTATION DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS REGRADED, PLANTED, OR TREATED IN ACCORDANCE WITH THE APPROVED SITE PLANS.
 - PROVIDE INLET PROTECTION TO ALL INLETS ON SITE. (SEE DETAILS)

PHASE I ROAD GRADING, STORM DRAINAGE, SANITARY SEWER, EROSION CONTROL AND UTILITIES
A TOTAL = 4.28 AC

PHASE II HOME CONSTRUCTION EROSION CONTROL AND UTILITIES
A TOTAL = 4.95 AC

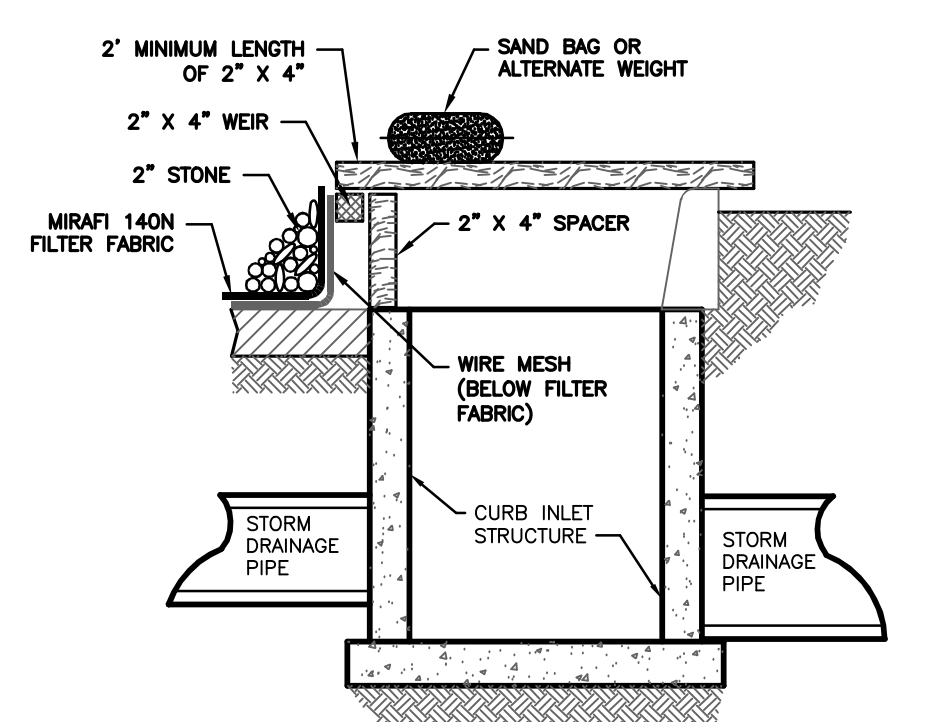
CLEARING LIMIT LINE (TYP)
TOTAL AREA OF DISTURBANCE ON SITE = 9.23 ACRES



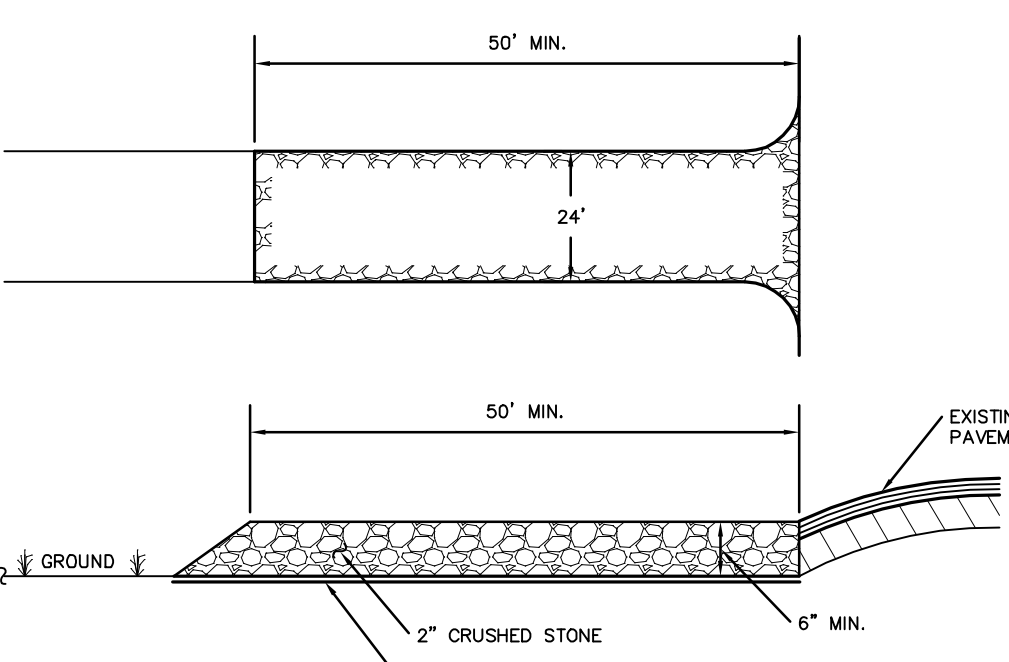
- NOTES:**
- THIS FENCE IS AN ALTERNATE TO HAY BALE SEDIMENT BARRIER.
 - MAINTAIN FENCE TO INSURE SEDIMENT ENTRAPMENT QUALITIES DURING CONSTRUCTION.
 - REMOVE EXCESS SILT PERIODICALLY WHEN MUDS DEVELOPE.
 - FENCE SYMBOL ON PLAN
- SEDIMENT BARRIER FENCE**
N.T.S.

LEGEND

EXISTING	PROPOSED	ITEMS
-	-	PROPERTY LINE
-	-	BUILDING SETBACK LINE
-	-	SANITARY SEWER
-	-	SAN. SEWER MANHOLE
-	-	SEWER SERVICE
-	-	CLEAN-OUT
-	-	WATER MAIN
-	-	WATER SERVICE
-	-	WATER VALVE
-	-	FIRE HYDRANT
-	-	WATER METER PIT
-	-	GAS MAIN
-	-	GAS SERVICE
-	-	GAS VALVE
-	-	DRAIN PIPE
-	-	DRAINAGE MANHOLE
-	-	DRYWELL PIT
-	-	CATCH BASIN
-	-	UTILITY POLE
-	-	UNDERGROUND UTILITIES
-	-	OVERHEAD ELECTRIC
-	-	10' CONTOUR INTERVAL
-	-	2' CONTOUR INTERVAL
-	-	SPOT GRADE
-	-	WALL & CURB ELEV.



- NOTES:**
- FILTER FABRIC SHALL HAVE AN EOS OF 40-85.
 - WOODEN FRAME SHALL BE CONSTRUCTED OF 2" X 4" CONSTRUCTION GRADE LUMBER.
 - WIRE MESH ACROSS THROAT SHALL BE A CONTINUOUS PIECE 30 INCH MINIMUM WIDTH WITH A LENGTH 4 FEET LONGER THAN THE THROAT. IT SHALL BE SHAPED AND SECURELY NAILED TO A 2" X 4" WEIR.
 - THE WEIR SHALL BE SECURELY NAILED TO 2" X 4" SPACERS 9 INCHES LONG SPACED NO MORE THAN 6 FEET APART.
 - THE ASSEMBLY SHALL BE PLACED AGAINST THE INLET AND SECURED BY 2" X 4" ANCHORS 2 FEET LONG EXTENDING ACROSS THE TOP OF THE INLET AND HELD IN PLACE BY AND BASED ON ALTERNATE WEIGHTS.
- CURB INLET PROTECTION DETAIL**
N.T.S.



- NOTES:**
- ENTRANCE SHALL BE MAINTAINED AS CONDITIONS DEMAND TO PREVENT TRACKING OF SEDIMENT ONTO PUBLIC ROADS.
- STABILIZED CONSTRUCTION ENTRANCE**
N.T.S.

REVISIONS

NO.	DESCRIPTION	DATE	BY
1.	REV. PLANS AS PER VILL. 11-11-21		DAY OF '20
2.	REV. PLANS AS PER VILL. 12-28-21		DAY OF '20
3.	GENERAL REVISIONS - 2/28/24		DAY OF '24
4.	GENERAL REVISIONS - 5/28/24		DAY OF '24
5.	REV. FOR FINAL SIGNATURE - 6/28/24		DAY OF '24
6.	GENERAL REVISIONS - 7/1/24		DAY OF '24

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE TOWN OF RAMAPO, NEW JERSEY, ON THE DAY OF '20 SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERRASURE, MODIFICATION OR REVISION OF THIS PLAN AS APPROVED SHALL VOID THIS APPROVAL. SIGNED THIS DAY OF '20

CHAIRMAN
Treasurer

PHASING, SEDIMENT & EROSION CONTROL AND REMOVALS PLAN FOR REVISED HEIGHTS
LOCATED IN VILLAGE OF MONTEBELLO TOWN OF RAMAPO ROCKLAND COUNTY, NEW JERSEY
GRAPHIC SCALE

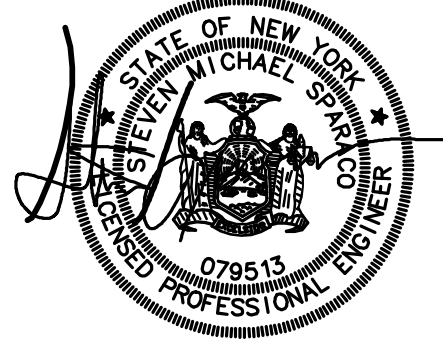
50 100 150

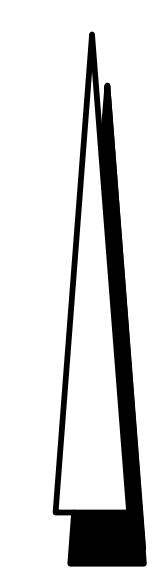
SPARACO & YOUNGBLOOD, PLLC
CIVIL ENGINEERING • LAND SURVEYING
SITE PLANNING
18 NORTH MAIN STREET
P.O. BOX 818
HARRIMAN, NJ 07924
TEL: 845.782.8543
FAX: 845.782.5900
E-MAIL: SPARACO@STEVESONLINE.COM WDT18@GMAIL.COM

YB-4606
AUG. 4, 2021
1" = 50'
4" 0" = 12'



STEVEN M. SPARACO, PE
18 NORTH MAIN STREET
HARRIMAN, NEW JERSEY 07924
(845) 782-8543





LEGEND		
EXISTING	PROPOSED	ITEMS
---	---	PROPERTY LINE
---	---	BUILDING SETBACK LINE
---	---	CONCRETE MONUMENT
○	○	SAN SEWER MANHOLE
○	○	CLEAN-OUT
○	○	DRAINAGE MANHOLE
○	○	CATCH BASIN
○	○	WATER VALVE
○	○	N/F
○	○	GAS VALVE
○	○	UTILITY POLE
○	○	OVERHEAD ELECTRIC
○	○	GUY WIRE

ALL UTILITIES ARE SHOWN IN AN APPROXIMATE WAY FROM AVAILABLE INFORMATION. THE CONTRACTOR SHALL CALL THE LOCAL UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION TO HAVE ALL UNDERGROUND UTILITIES MARKED IN THE FIELD PRIOR TO ANY CLEARING OR ANY CONSTRUCTION. THE CONTRACTOR SHALL ALSO VERIFY THE LOCATION, SIZE AND INVERT OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. ANY UTILITY FOR WHICH NO EVIDENCE CAN BE SEEN ON THE SURFACE OF THE LANDS MAY NOT BE SHOWN ON THIS DRAWING.



REVISIONS	

EXISTING CONDITIONS PLAN OF
STONEHEDGE HEIGHTS
 LOCATED IN
 VILLAGE OF MONTEBELLO
 TOWN OF RAMAPO
 ROCKLAND COUNTY, NEW YORK

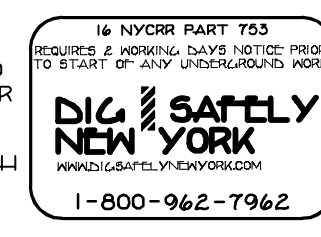
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 SITE PLANNING
 18 NORTH MAIN STREET
 P.O. BOX 616
 HARRIMAN, N.Y. 10926
 TEL: (845) 762-5545
 FAX: (845) 762-5901
 SPARACO.STEVE@SUNY.COM WYLS1@GMAIL.COM

FILE # YB-4606
 DATE AUG. 4, 2021
 SCALE 1" = 50'
 SHEET # 5 OF 12

I HEREBY CERTIFY THAT THIS SURVEY WAS PREPARED BY ME AND WAS MADE FROM AN ACTUAL SURVEY COMPLETED BY ME ON 11-20-18. UNAUTHORIZED ALTERATION OR ADDITION TO THIS PLAN IS A VIOLATION OF SECTION 7209(2) OF THE NEW YORK STATE SURVEYING LAW. COPIES OF THIS MAP NOT HAVING THE SIGNATURE OF THE SURVEYOR OR ENGINEER SHALL BE VOID.

WILLIAM D. YOUNGBLOOD, L.S. #20446

ALL UTILITIES ARE SHOWN IN AN APPROXIMATE MAP FROM AVAILABLE INFORMATION. THE CONTRACTOR SHALL CALL THE LOCAL UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION TO HAVE ALL UNDERGROUND UTILITIES MARKED IN THE FIELD PRIOR TO ANY CLEARING OR ANY CONSTRUCTION. THE CONTRACTOR SHALL ALSO VERIFY THE LOCATION, SIZE AND DEPTH OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. ANY UTILITY FOR WHICH NO EVIDENCE CAN BE SEEN ON THE SURFACE OF THE LANDS MAY NOT BE SHOWN ON THIS DRAWING.



POND PLANTING NOTES

- Place a minimum of 6" of topsoil in the water quality basins; using previously stripped topsoil from previously undisturbed areas of the site.
- Plant the permanent water quality / detention basin with the following mix of plants and seeding, as directed:

Area A - All new shrub and tree planting shall be limited to upslope areas along the borders of the basin from an elevation 12" above the proposed water level elevation of the basin to approximately 10 feet horizontally beyond that point around the upslope banks of the basin as shown on the typical basin planting plan. No planting shall be installed on the embankment portions of the water quality basins. Plant the following shrubs and trees as shown on the typical water quality basin planting plan, and as directed by the Landscape Architect. Shrubs to be 24"-36" in height, # 3 container or B&B, trees to be 2" - 2 1/2" cal., B&B. Trees shall be planted at the rate of 1 per 500 square feet and shrubs at the rate of 1 per 100 square feet along the upslope borders of the basins. (See plan for typical planting plan arrangement)

- RM Acer rubrum - Red Maple
- NS Nyssa sylvatica - Tupelo
- PO Quercus palustris - Pin Oak
- C Cornus amoenum - Silky Dogwood
- D Cornus sericea - Redosier Dogwood
- V Viburnum dentatum - Arrowwood Viburnum
- S Clethra alnifolia - Summersweet

- Seed the side slope areas above the proposed water level for vegetative stabilization with Seasonally Flooded Area Annual & Perennial Wildlife Food Mix, Application Rate - 15 pounds per acre, - ERNMX-128

20% ECHINOCHLOA CRUSGALLI	JAPANESE MILLET
20% CAREX VULPINOIDEA	FOX SEDGE
20% POLYGONUM LAPATHIFOLIUM	NODDING SMARTWEED
20% ELYMUS VIRGINICUS	VIRGINIA WILD RYE
10% BIDENS CERNUA	NODDING BUR-MARIGOLD
5% PANICUM VIRGATUM	SWITCHGRASS
2.5% CAREX LURIDA	LURID SEDGE
2.5% CAREX COMOSA	COSMOS SEDGE

- Area B - Plant the following seed mix in the entire bottom area to 12 inches above the proposed water level with Ernst Retention Basin Floor Seeding Mix for Wildlife and Plant Diversity. Application Rate - 10 pounds per acre

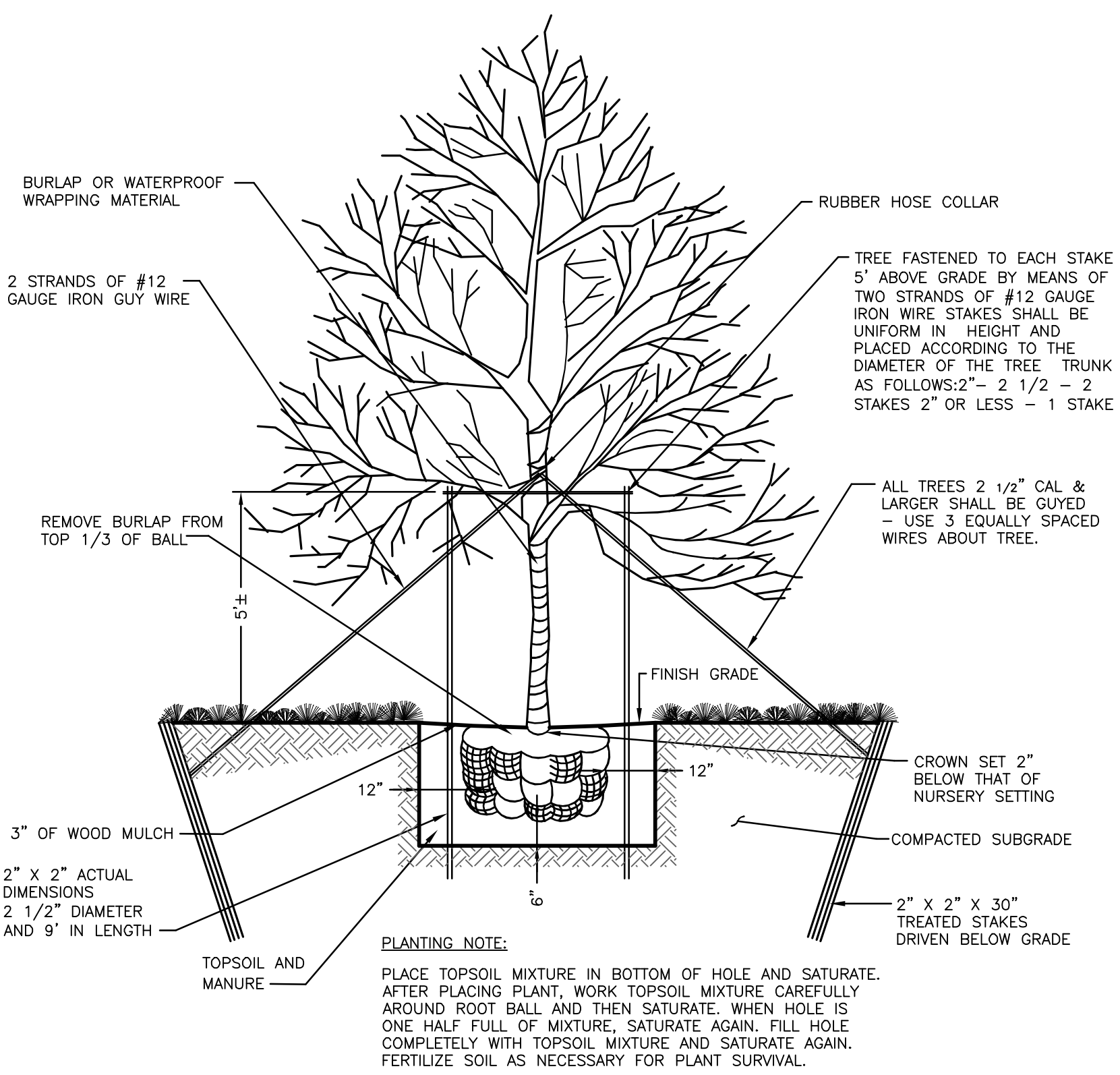
20% AGROSTIS STOLONIFERA	CREeping BENTGRASS
25% ALOPECURUS ARUNDINACEUS	GARRISON'S CREEPING FXTAL
25% ELYMUS VIRGINICUS	VIRGINIA WILD RYE
5% FESTUCA RUBRA	CREeping RED FESCUE
4% SCIRPUS ATROVIRENS	GREEN BULRUSH
4% SPARGANIUM EURYCARPUM	GIANT BUR-REED
5% BIDENS CERNUA	NODDING BUR-MARIGOLD
4% SCIRPUS POLYPHYLLUS	MANY-LEAVED BULRUSH
3% VERBENA HASTATA	BLUE VERVAIN
1% MINULLUS RINGENS	SQUARE STEM MONKEY FLOWER
3% SCIRPUS CYPERINUS	WOOLGRASS
1% SOLIDAGO PATULA	ROUGH-LEAVED GOLDENROD

- Area C - Seed the disturbed areas beyond the basin boundaries and within 25' of berm summit with Ernst Conservation Seeds Wildlife Food & Shelter Mix, #ERNMX-138 at the rate of 12 pounds per acre.

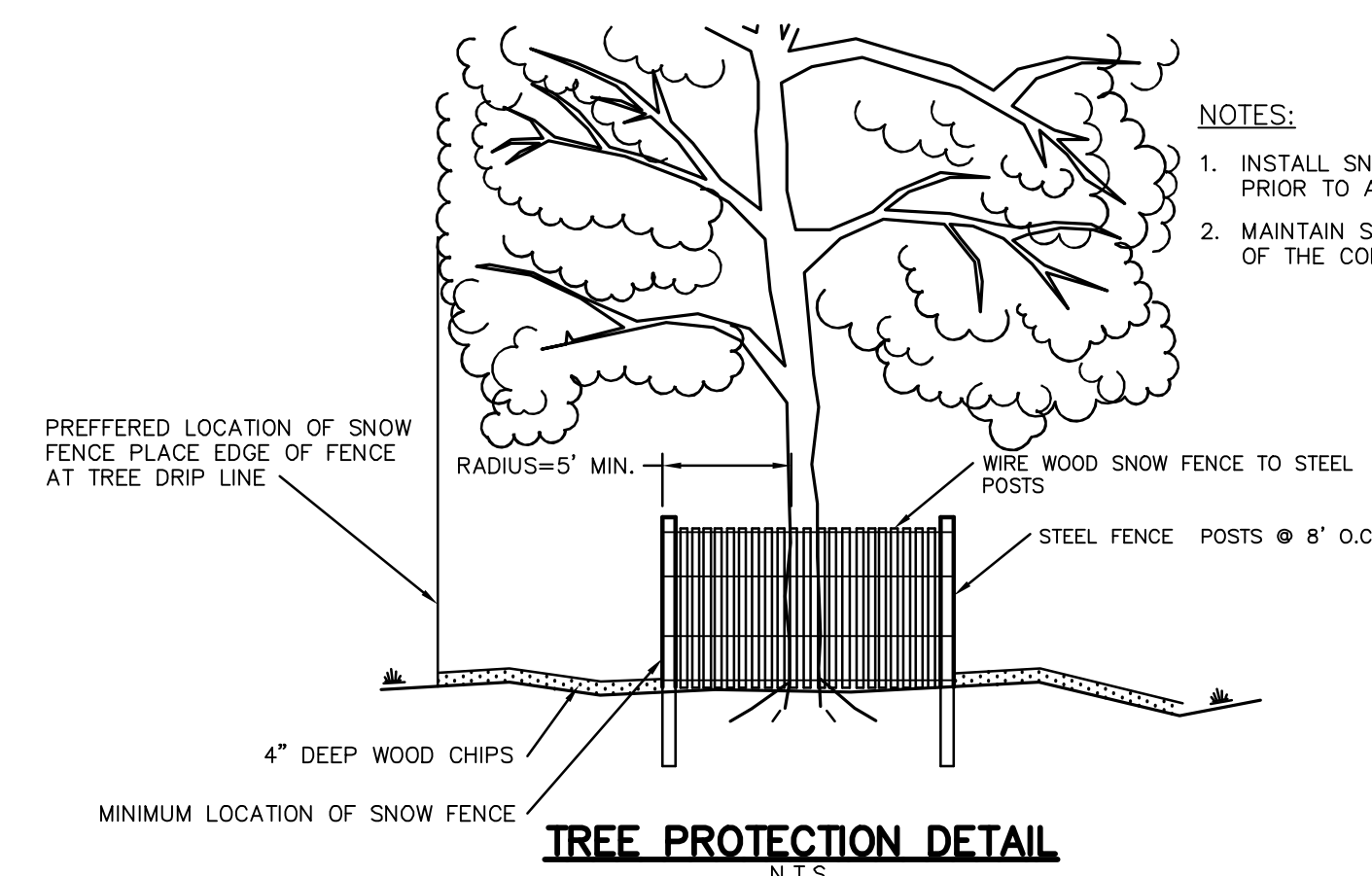
9% CAREX VULPINOIDEA	FOX SEDGE
21% CORNUS AMOMUM	SILKY DOGWOOD
21% CORNUS RACEMOSA	GREY DOGWOOD
10% ELYMUS RIPARIUS	RIVERBANK WILD RYE
10% ILEX VERTICILLATA	COMMON WINTERBERRY
7% SAMBUCUS CANADENSIS	AMERICAN ELDERBERRY
5% ARALIA SPINOSA	HERCULE'S CLUB
5% CAREX LUPULINA	HOP SEDGE
1% CAREX CRINITA	FRINGED SEDGE
3% CAREX COMOSA	COSMOS SEDGE
3% SPIREA TOMENTOSA	STEEPLEBUSH
2% CAREX STIPATA	AWL SEDGE
2% CAREX LURIDA	LURID SEDGE
1% ROSA PALUSTRIS	SWAMP ROSE

Seed listed above available from ERNST Conservation Seeds
9006 Mercer Pike, Weaville, PA 16335
(814) 336-2404 (800) 873-3321 FAX (814) 336-5191

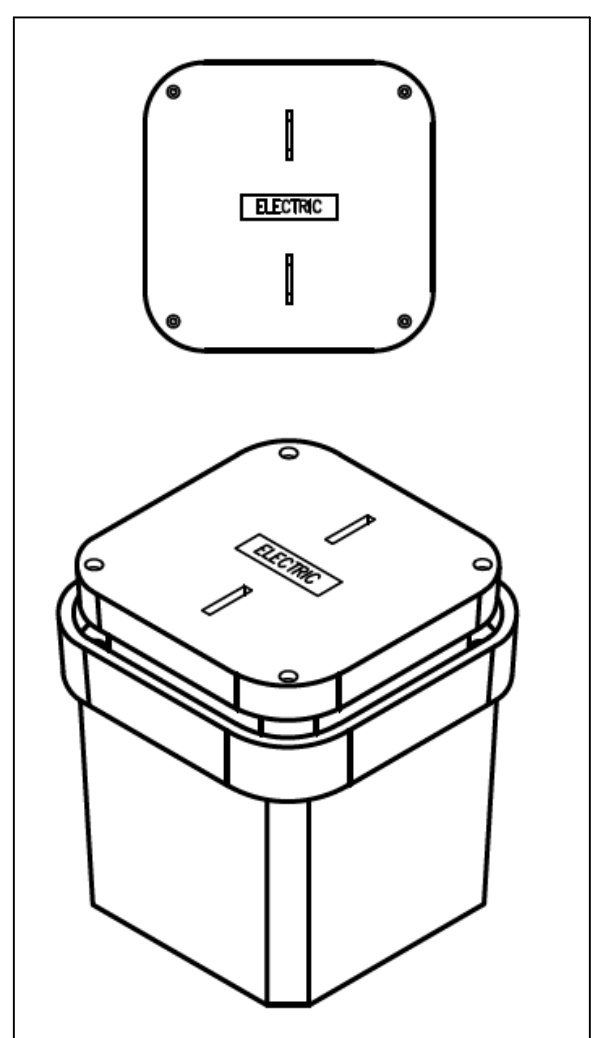
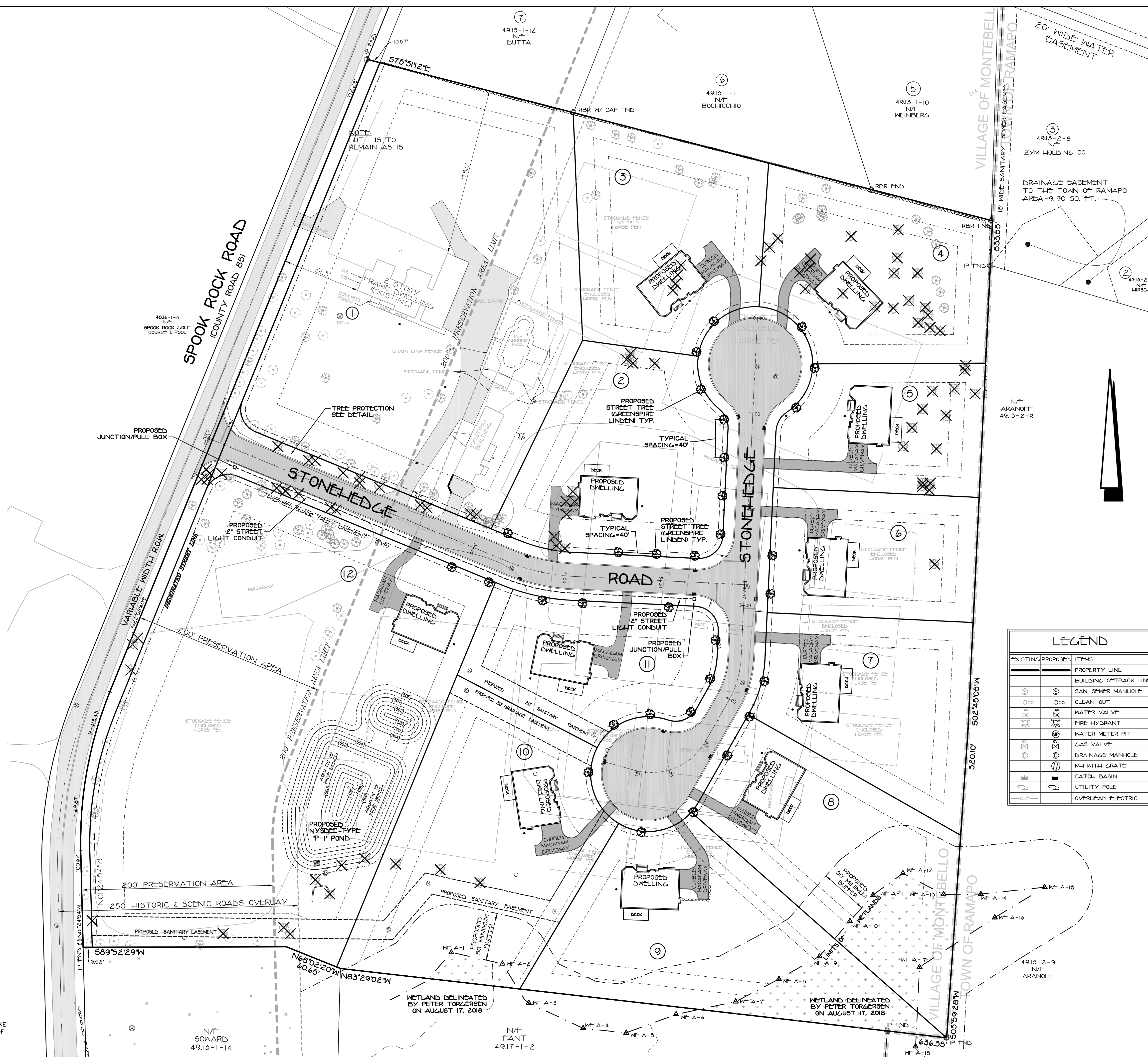
POND PLANTING DETAILS
N.T.S.



TREE PLANTING DETAIL
N.T.S.



TREE PROTECTION DETAIL
N.T.S.



- NOTES:**
- WEATHER TIGHT POLYMER CONCRETE PULL BOX - OLDCASTLE INFRASTRUCTURE MODEL NUMBER 2424 OR APPROVED EQUAL.
 - JUNCTION/ PULL BOX COVER TO BE IMPRINTED WITH "ELECTRIC" AND SECURED TO BOX WITH BOLTS.

JUNCTION/ PULL BOX DETAIL
N.T.S.

TREE LEGEND

(Symbol)	EXISTING TREE TO REMAIN
(Symbol)	EXISTING TREE TO BE REMOVED
(Symbol)	PROPOSED TREE (SEE TREE SCHEDULE)

PLANTING NOTES:

- ALL PLANTING SHALL BE PLACED UNDER DIRECTION OF AN APPROPRIATE LICENSED DESIGN PROFESSIONAL. NOTIFY 48 HOURS PRIOR TO PLANTING.
- MULCH ALL PLANTED AREAS WITH A 4" DEPTH OF LICORICE ROOT OR SUGAR CANE MULCH.
- STAKE ALL TREES WITH 2" CEDAR STAKES, RUBBER HOSE AROUND TREE 6" ABOVE GROUND, AND TWISTED #10 GAUGE GALVANIZED WIRE.
- PLANT PITS SHALL BE 12" WIDER AND 6" DEEPER THAN THE ROOT BALL. REMOVE ALL EXISTING SOIL AND BACKFILL WITH A MIXTURE OF ONE PART PEAT - LUMMUS TO FOUR PARTS TOPSOIL. ADD THREE YEAR GROW FERTILIZER (PACKETS OR EQUAL) - ONE YEAR PER INCH OF TREE CALIPER OR PER 12" HEIGHT FOR SHRUB.
- PROVIDE THE TOWN OF RAMAPO BUILDING INSPECTOR WITH A COPY OF THE STATE CERTIFICATE OF SOURCE FOR ALL PLANT MATERIALS. ALL PLANTS SHALL BE NURSERY GROWN.
- ALL PLANT MATERIALS SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AND SHALL BE SUBJECT TO THE APPROVAL OF THE DESIGN PROFESSIONAL PRIOR TO PLANTING.
- GUARANTEE ALL PLANTS AND WORKMANSHIP FOR TWO PLANTING SEASONS.
- PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, AN AS-BUILT LANDSCAPING DRAWING SHALL BE SUBMITTED WHICH IS CERTIFIED BY A LANDSCAPE ARCHITECT LICENSED TO PRACTICE IN THE STATE OF NEW YORK. SAID CERTIFIED LANDSCAPING DRAWING SHALL INDICATE DEGREE OF COMPLETION OF SAID LANDSCAPING IMPROVEMENTS IN ACCORDANCE WITH THE APPROVED SITE PLAN. SAID AS BUILT DRAWINGS SHALL BE SUBMITTED TO THE BUILDING INSPECTOR, PLANNING BOARD, AND/OR THE VILLAGE ENGINEER.
- DEVELOPER TO PROVIDE A MINIMUM OF ONE YEAR MAINTENANCE PERIOD FROM THE TIME THE LAST CERTIFICATE OF OCCUPANCY IS ISSUED UNTIL THE ROAD DEDICATION IS ACCEPTED BY THE VILLAGE.

LEGEND

EXISTING/PROPOSED	ITEMS
(Symbol)	PROPERTY LINE
(Symbol)	BUILDING SETBACK LINE
(Symbol)	SAN SEWER MANHOLE
(Symbol)	CLEAN-OUT
(Symbol)	WATER VALVE
(Symbol)	FIRE HYDRANT
(Symbol)	WATER METER PIT
(Symbol)	GAS VALVE
(Symbol)	DRAINAGE MANHOLE
(Symbol)	M/I WITH GRATE
(Symbol)	CATCH BASIN
(Symbol)	UTILITY POLE
(Symbol)	OVERHEAD ELECTRIC

TREE SCHEDULE

SYMBOL	QUANTITY	COMMON NAME	LATIN NAME	SIZE	CONDITION	COMMENTS
TC	32	GREENSPIRE LINDEN	TILIA CORDATA GREENSPIRE	3-3 1/2' CAL.	B & B	USE FOR ALL STREET TREES. SPACING 40' O.C. (TYP)

- LIGHTING NOTES:**
- LIGHTING, WHEN REQUIRED, TO BE INSTALLED AT DEVELOPER'S EXPENSE AND APPROVED BY THE VILLAGE OF MONTEBELLO, OR IN THE ALTERNATIVE AS DETERMINED BY THE PLANNING BOARD. NO STREET LIGHTING WILL BE INSTALLED EXCEPT WHERE SHOWN ON THE FINAL GRADING PLAN. UNDERGROUND CABLING AND CONDUITS FOR ELECTRICAL SERVICE SHALL BE INSTALLED FOR FUTURE LIGHTING AT ALL INTERSECTIONS AND ROAD BENDS LOCATIONS AND IN ACCORDANCE WITH GOOD ILLUMINATION PLANNING AS APPROVED BY THE VILLAGE ENGINEER. HOWEVER, NO OTHER LIGHTING, PEDESTALS OR STANDARDS ARE TO BE INSTALLED AT THIS TIME.

STEVEN M. SPARACO, PE
18 NORTH MAIN STREET
HARRISBURG, NEW YORK 10926
(845) 782-8543



REVISIONS

10. GENERAL - 2/28/24	APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE TOWN OF NEW YORK, ON THE DAY OF
11. REV. FOR FINAL SUBMITTAL - 6/28/24	REVISION SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAN AS APPROVED SHALL VOID THIS APPROVAL, SIGNED THIS DAY OF
12. GENERAL REVISIONS - 7/1/24	

CHAIRMAN

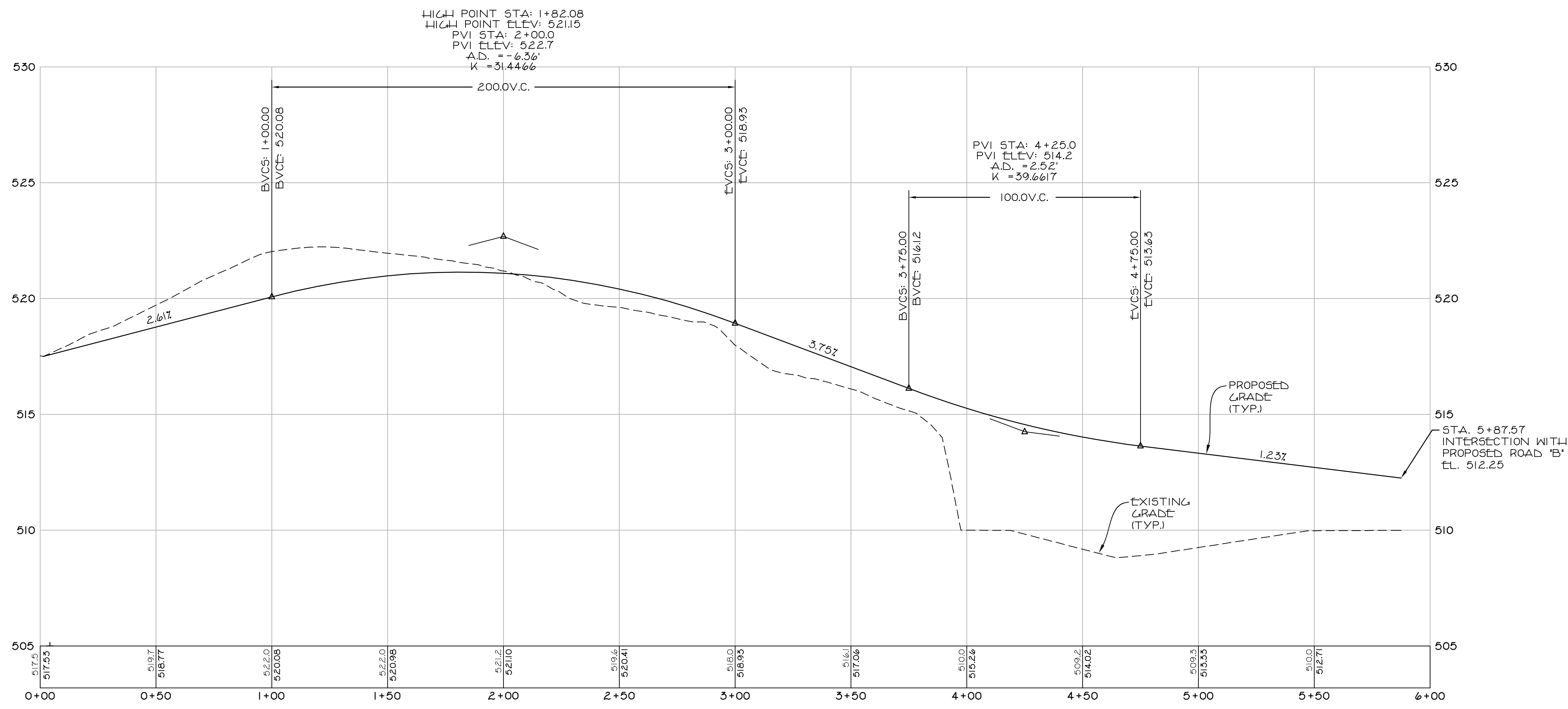
CLERK

PROPOSED LANDSCAPING & LIGHTING PLAN FOR
REVISED SUBDIVISION OF
STONEHEDGE HEIGHTS
LOCATED IN
VILLAGE OF MONTEBELLO
TOWN OF RAMAPO
ROCKLAND COUNTY, NEW YORK

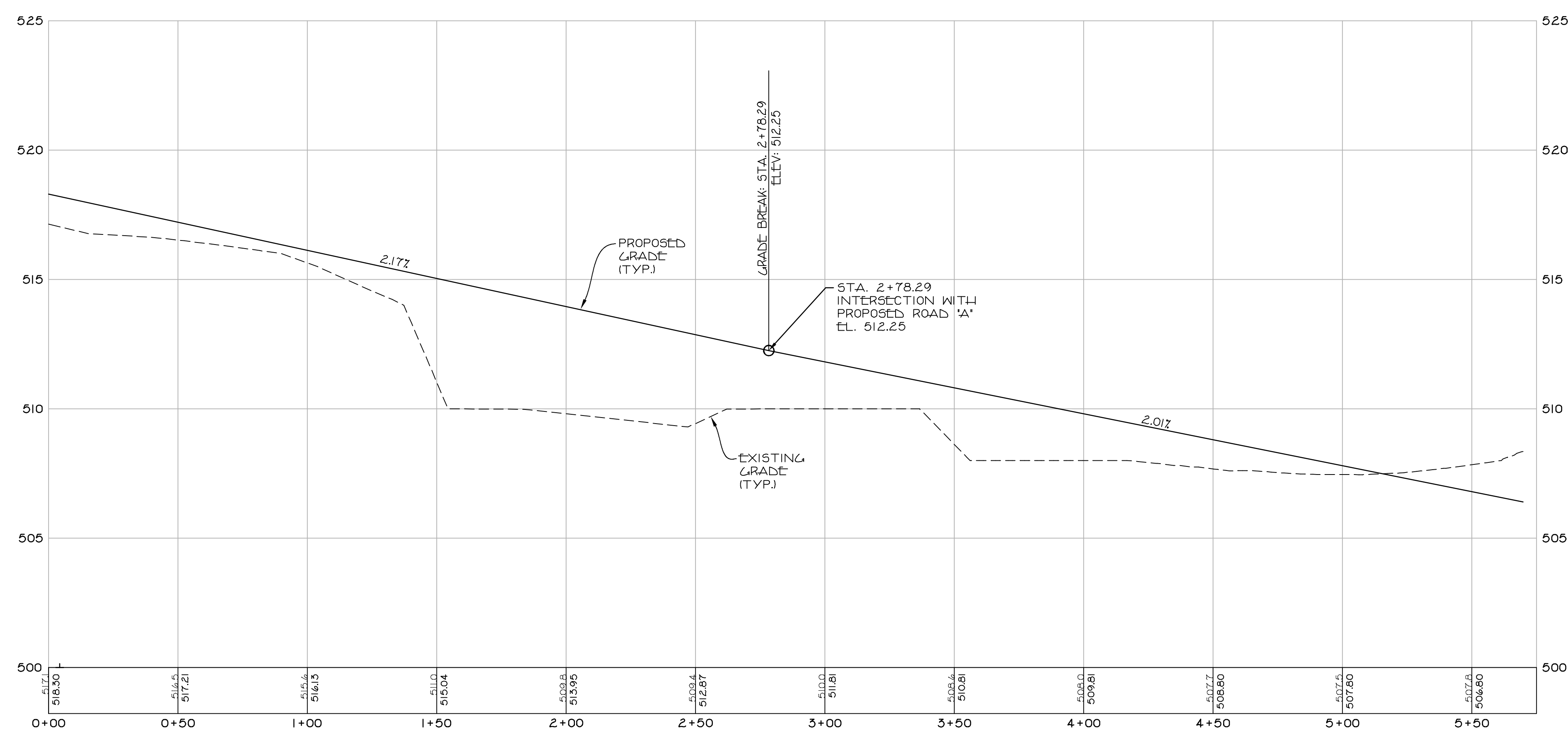
GRAPHIC SCALE: 1" = 50'

SPARACO & YOUNGBLOOD, PLLC
CIVIL ENGINEERING & LAND SURVEYING
18 NORTH MAIN STREET
P.O. BOX 818
HARRISBURG, NY 10926
TEL: (845) 782-8543
FAX: (845) 782-0901
WWW.SPACONYSURV.COM WDL51@GMAIL.COM

DATE: AUG 4, 2021
SCALE: 1" = 50'
SHEET: 6 OF 12



ROAD "A" PROFILE: STONEHEDGE RD.
 STA: 0+00 TO 5+87.57
 SCALE: H-1"=30', V-1"=3'



ROAD "B" PROFILE: STONEHEDGE RD.
 STA: 0+00 TO 5+69.73
 SCALE: H-1"=30', V-1"=3'

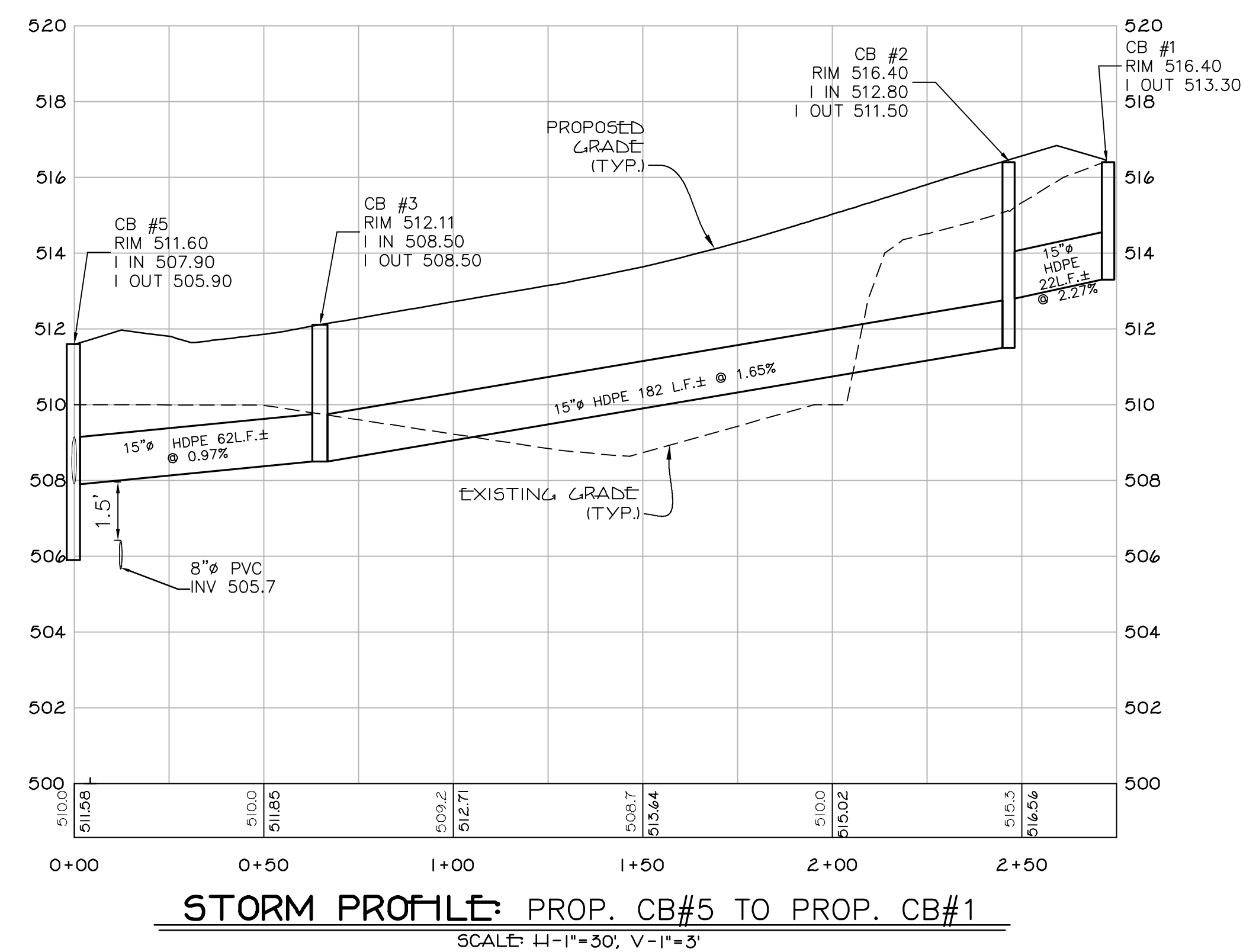
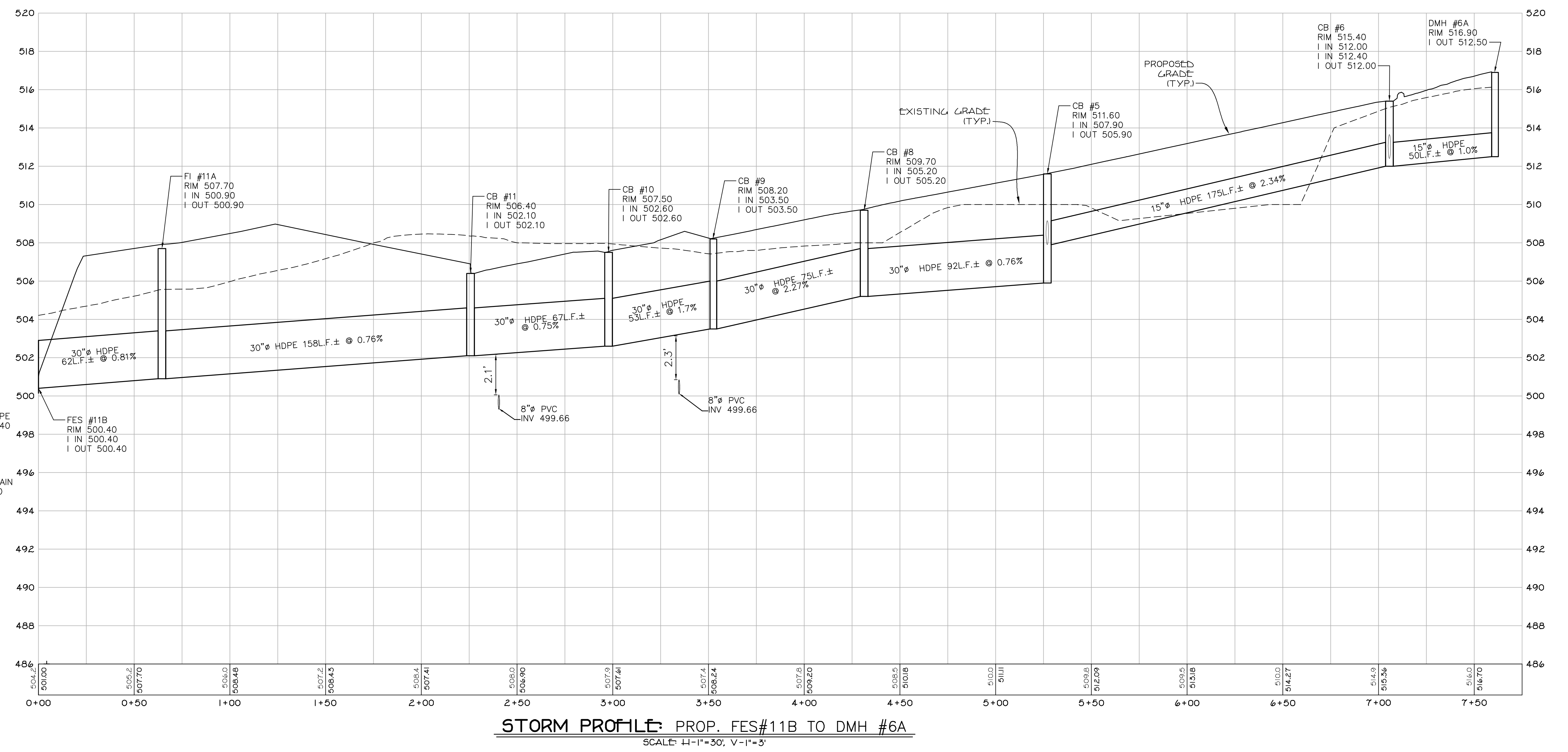
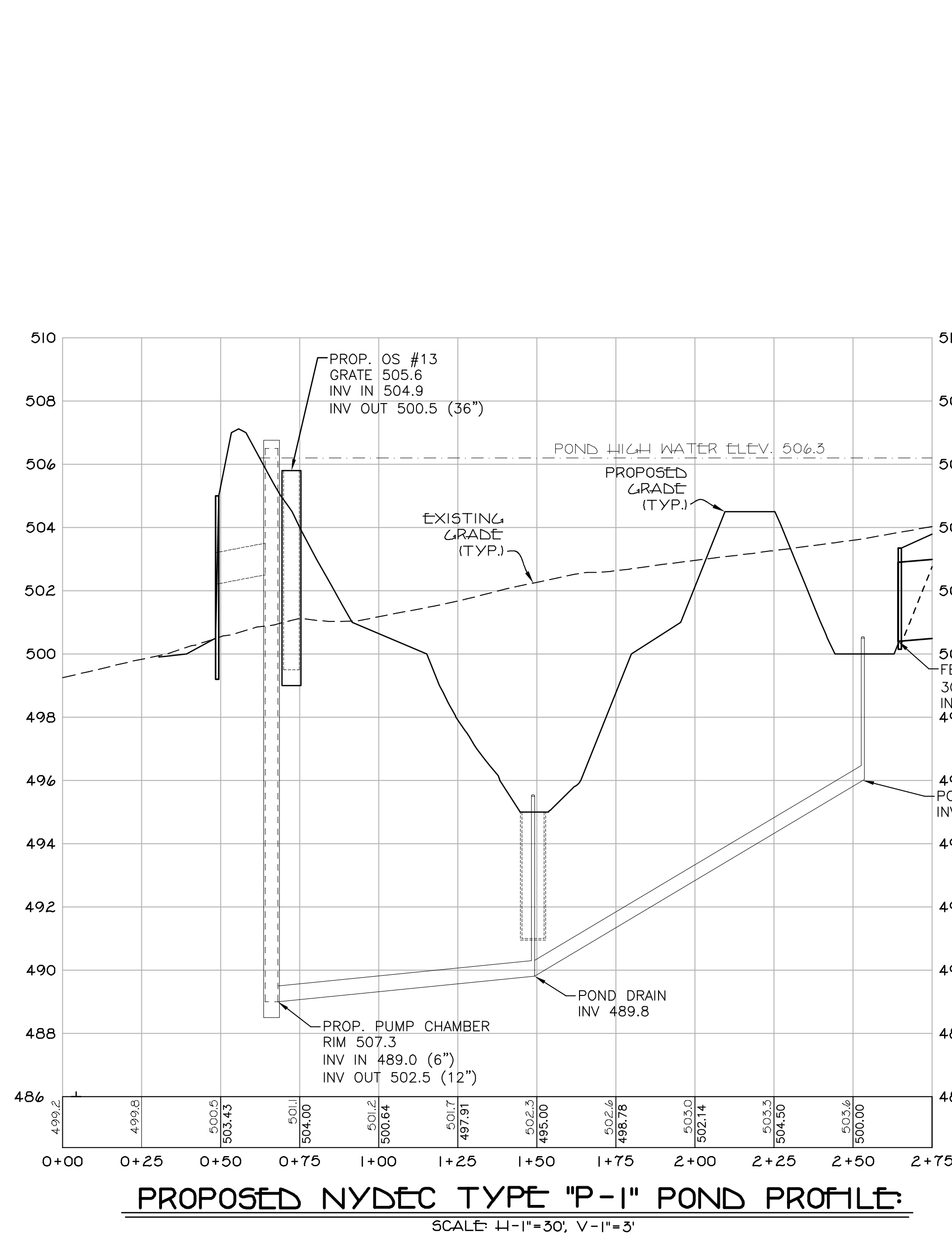
REVISIONS	
11. REV. FOR FINAL SIGNATURE - 5/28/24	APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE TOWN OF RAMAPO, N.J. ON THE DAY OF 2024. SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, MODIFICATION OR REVISION OF THIS PLAN AS APPROVED SHALL VOID THIS APPROVAL, SIGNED THIS DAY OF 2024.
12. GENERAL REVISIONS - 7/17/24	
CHAIRMAN	_____
CLERK	_____

ROAD PROFILES FOR
 REVISED SUBDIVISION OF
STONEHEDGE HEIGHTS
 LOCATED IN
 VILLAGE OF MONTEBELLO
 TOWN OF RAMAPO
 ROCKLAND COUNTY, NEW YORK



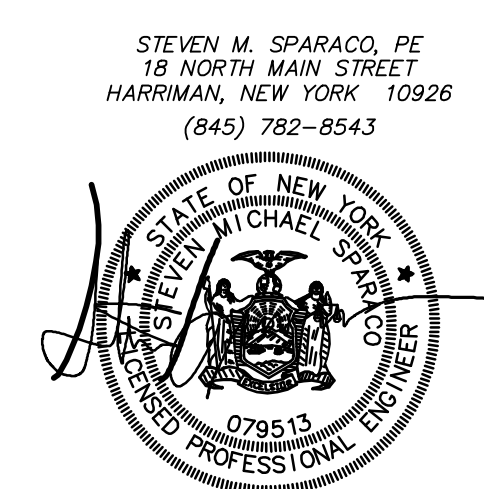
SPARACO & YOUNGBLOOD, PLLC
 CIVIL ENGINEERING • LAND SURVEYING
 SITE PLANNING
 18 NORTH MAIN STREET
 P.O. BOX 918
 HARRIMAN, N.Y. 10926
 TEL: (845) 782-8543
 FAX: (845) 782-2900
 SPARACO.STEVE@SINY.COM WBY151@GMAIL.COM

FILE # YB-4606
 DATE MAY 28, 2024
 SCALE AS NOTED
 SHEET 7 OF 12



REVISIONS	
1. GENERAL REVISIONS - 7/1/24	APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE TOWN OF RAMAPO, N.J. ON THE DAY OF 20. SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE REQUIRING MODIFICATION OR REVISION OF THIS PLAN AS APPROVED SHALL VOID THIS APPROVAL, SIGNED THIS DAY OF 20.
	CHAIRMAN
	CLERK

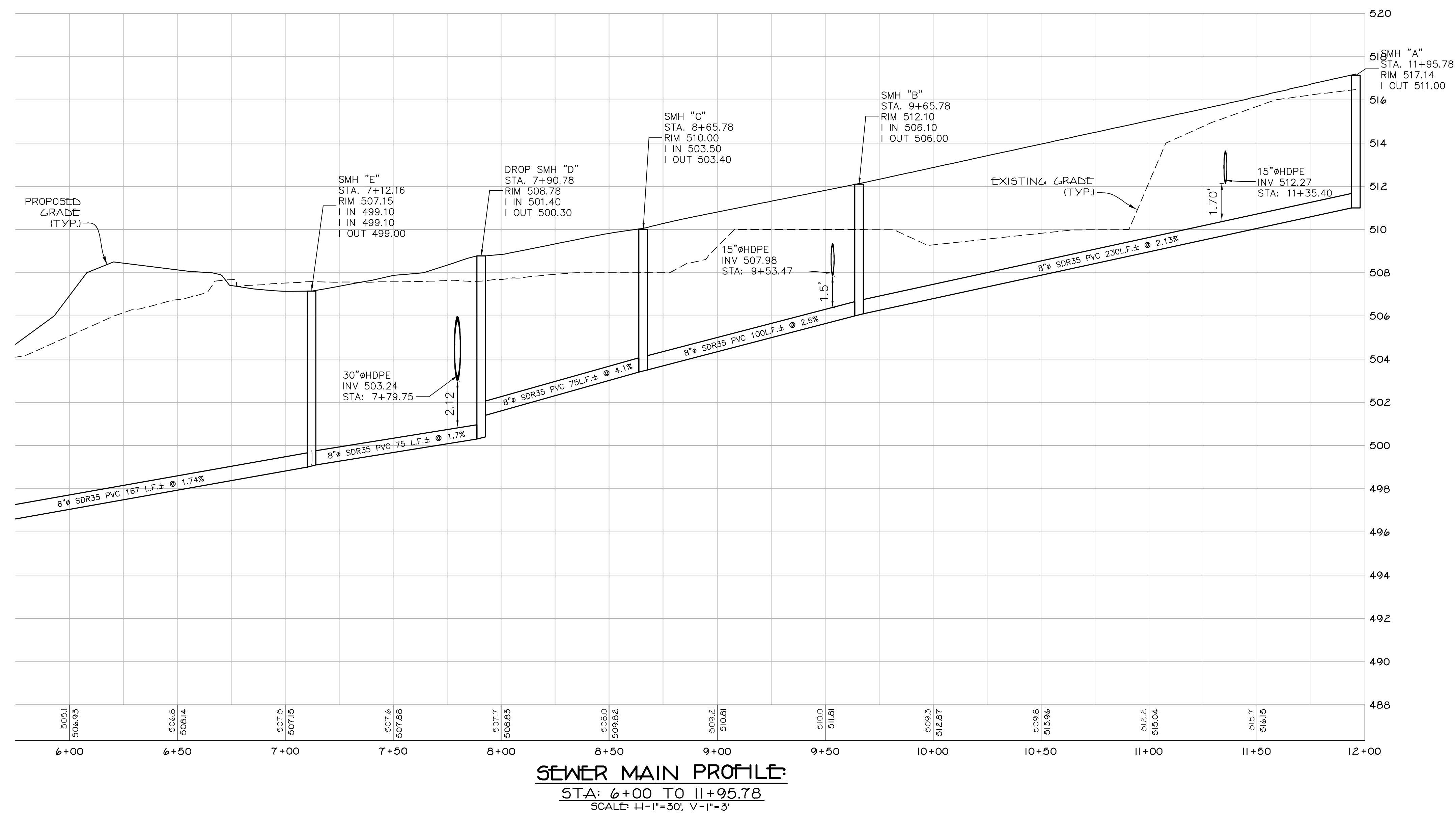
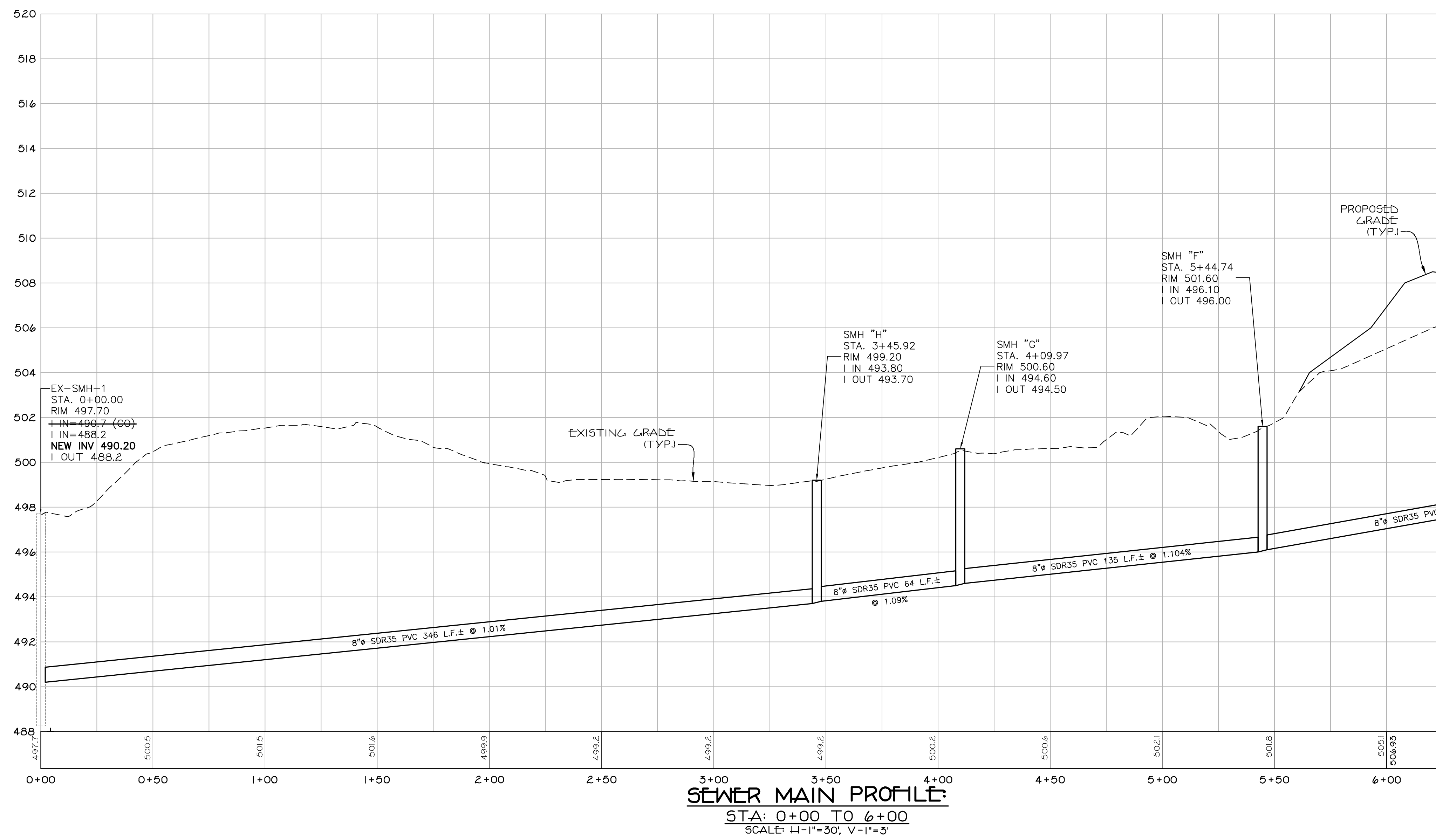
STORM PROFILES FOR
REVISED SUBDIVISION OF
STONEHEDGE HEIGHTS
LOCATED IN
VILLAGE OF MONTEBELLO
TOWN OF RAMAPO
ROCKLAND COUNTY, NEW YORK



SPARACO & YOUNGBLOOD, PLLC
CIVIL ENGINEERING • LAND SURVEYING
SITE PLANNING

18 NORTH MAIN STREET
P.O. BOX 918
HARRISMAN, N.Y. 10926
TEL: (845) 782-8543
FAX: (845) 782-2900
SPARACO.STEVE@SILS.NY.COM WBY151@GMAIL.COM

FILE # YB-4606
DATE JUNE 28, 2024
SCALE AS NOTED
PAGE 8 OF 12



REVISIONS	
II. REV. FOR FINAL SIGNATURE - 5/28/24	APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE TOWN OF RAMAPO, N.J. ON THE DAY OF 2024. SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, REVISION, MODIFICATION OR REVISION OF THIS PLAN AS APPROVED SHALL VOID THIS APPROVAL, SIGNED THIS _____ DAY OF _____ 20__.
II. GENERAL REVISIONS - 7/1/24	
CHAIRMAN	_____
CLERK	_____

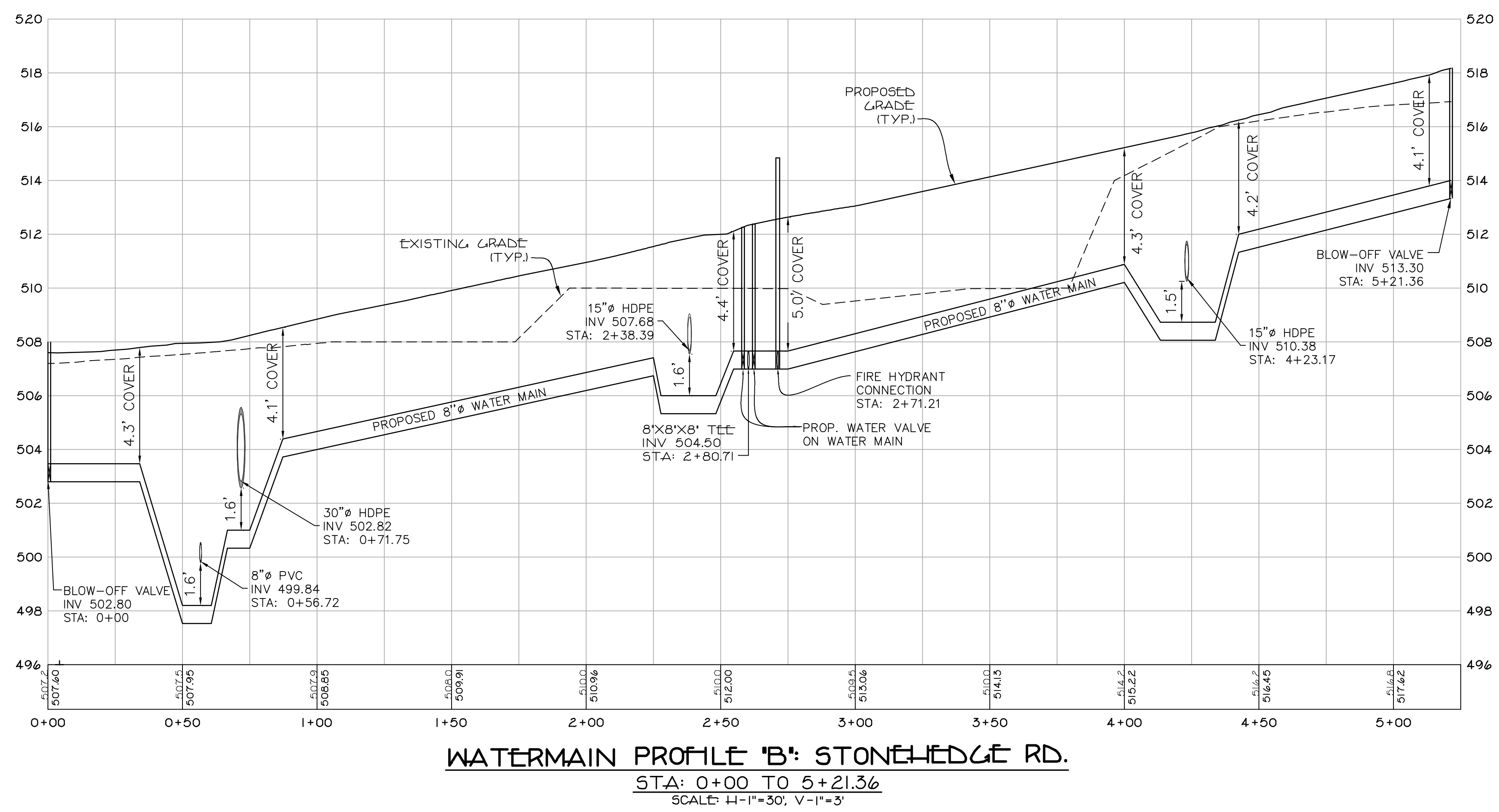
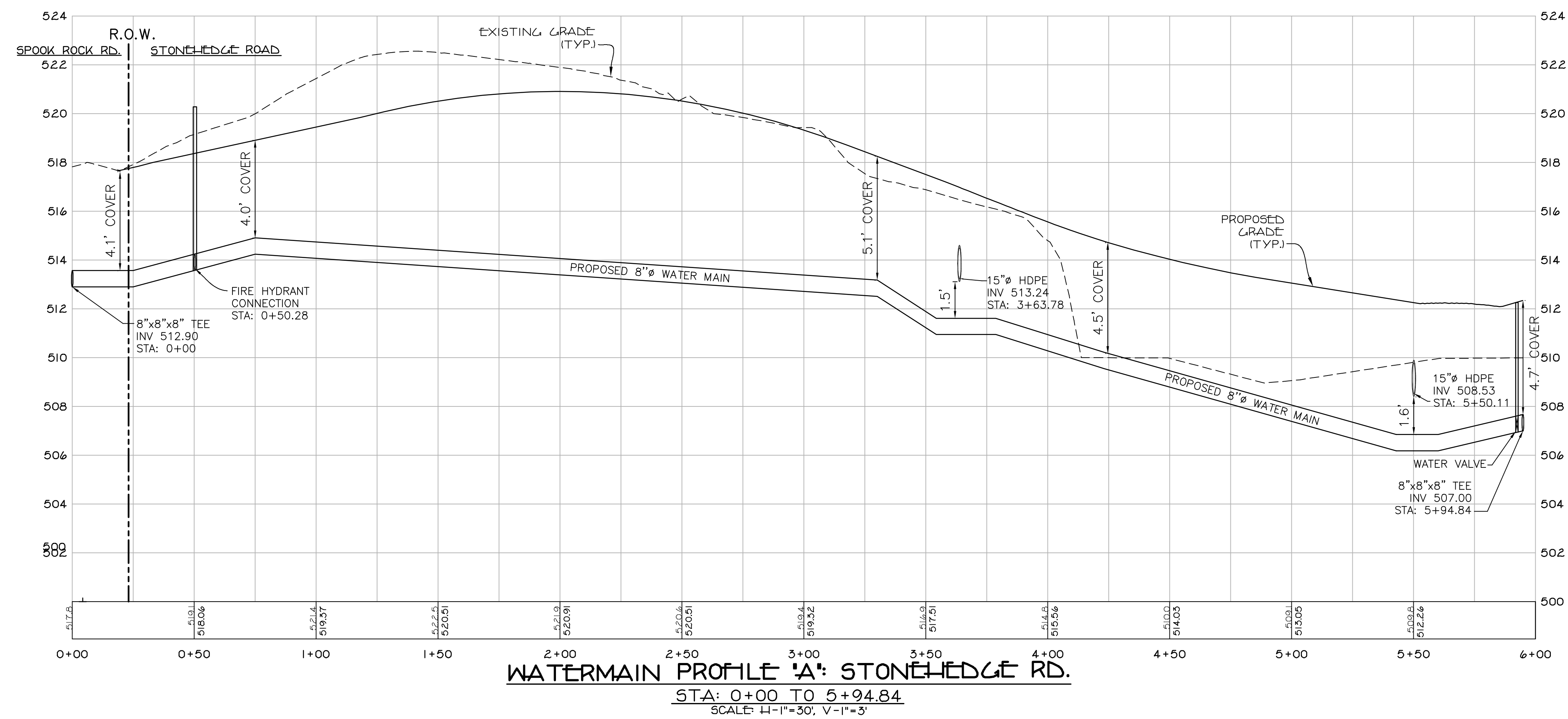
SEWER PROFILES FOR
REVISED SUBDIVISION OF
STONEHEDGE HEIGHTS
LOCATED IN
VILLAGE OF MONTEBELLO
TOWN OF RAMAPO
ROCKLAND COUNTY, NEW YORK



SPARACO & YOUNGBLOOD, PLLC
CIVIL ENGINEERING • LAND SURVEYING
SITE PLANNING

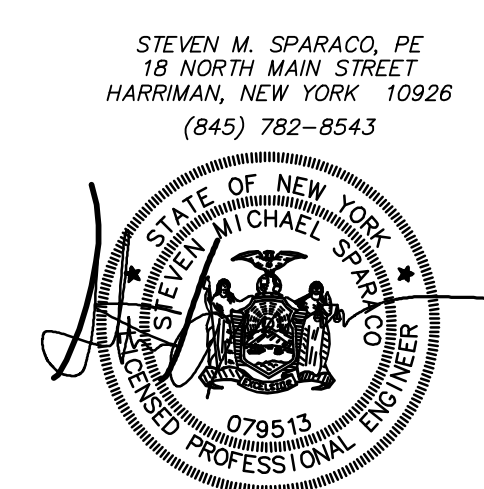
18 NORTH MAIN STREET
P.O. BOX 918
HARRISMAN, N.Y. 10926
TEL: (845) 782-8543
FAX: (845) 782-2900
SPARACO@SELSNY.COM WBY151@GMAIL.COM

FILE # YB-4606
DATE JUNE 3, 2024
SCALE AS NOTED
SHEET 9 OF 10



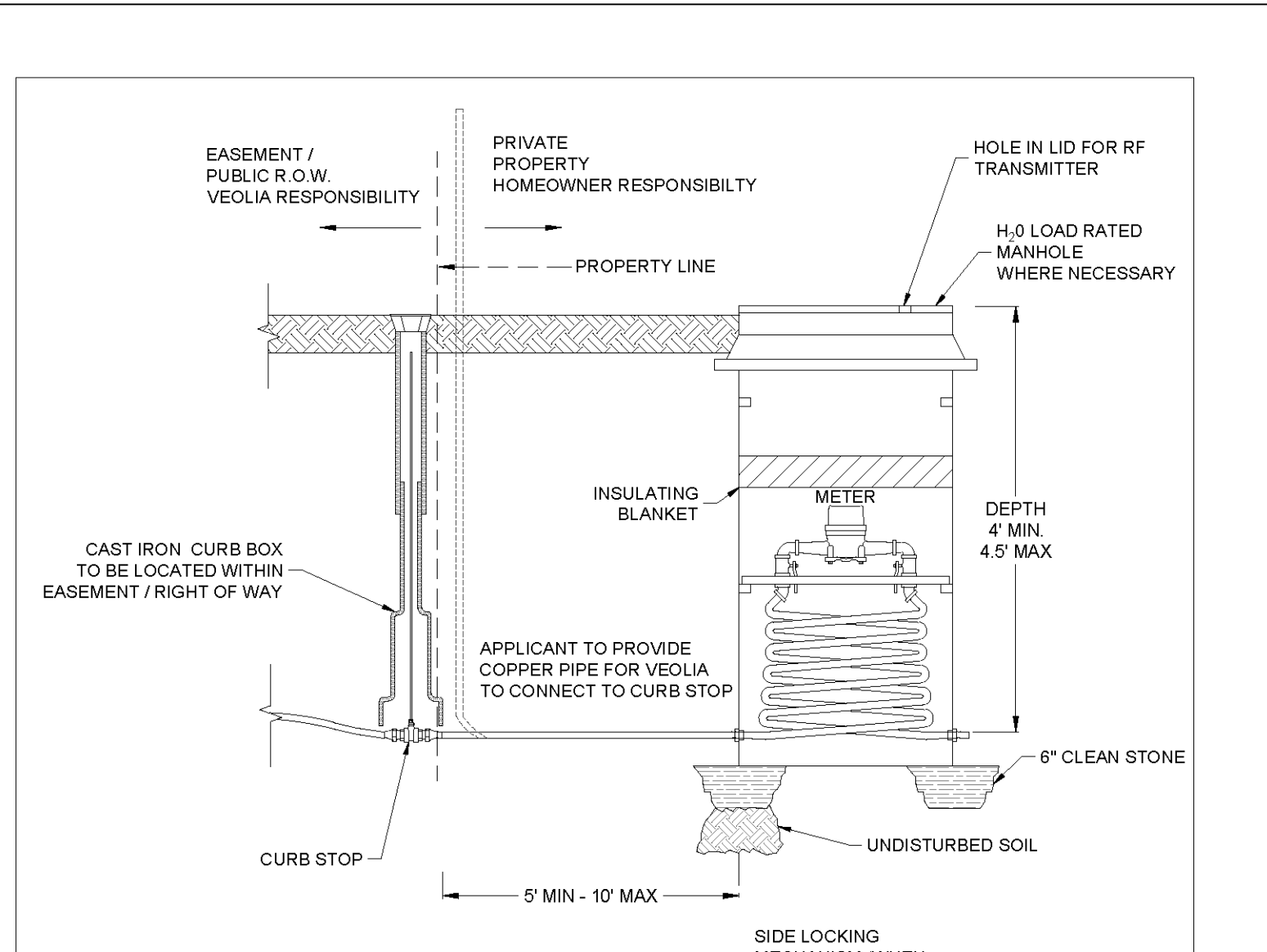
REVISIONS	
11. REV. FOR FINAL SIGNATURE - 5/28/24	APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE TOWN OF RAMAPO, N.J. ON THE DAY OF 2024. SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, FOR ANY REASON, MODIFICATION OR REVISION OF THIS PLAN AS APPROVED SHALL VOID THIS APPROVAL. SIGNED THIS DAY OF 2024.
12. GENERAL REVISIONS - 7/17/24	
CHAIRMAN	_____
CLERK	_____

WATER PROFILES FOR
 REVISED SUBDIVISION OF
STONEHEDGE HEIGHTS
 LOCATED IN
 VILLAGE OF MONTEBELLO
 TOWN OF RAMAPO
 ROCKLAND COUNTY, NEW YORK

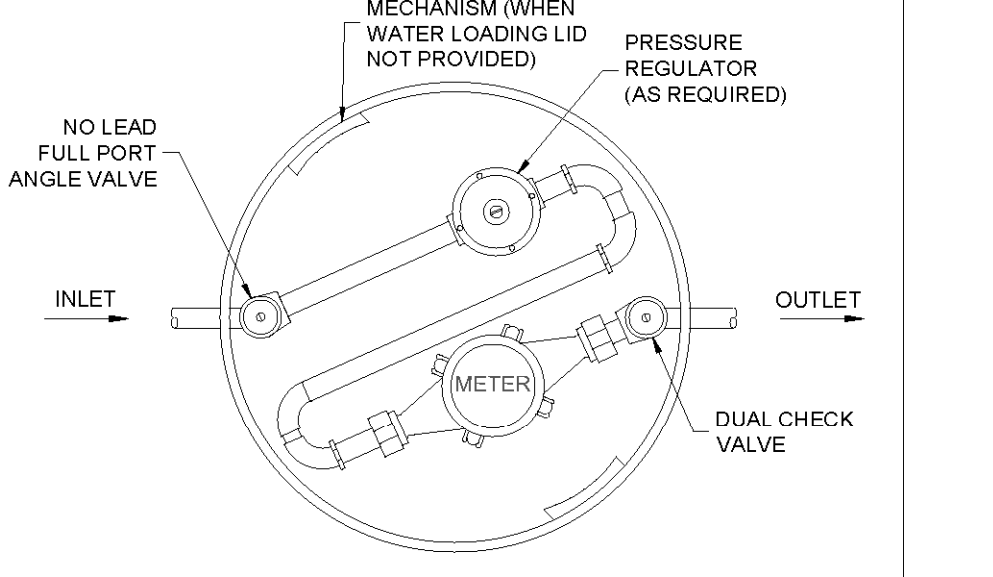


SPARACO & YOUNGBLOOD, PLLC
 CIVIL ENGINEERING • LAND SURVEYING
 SITE PLANNING
 18 NORTH MAIN STREET
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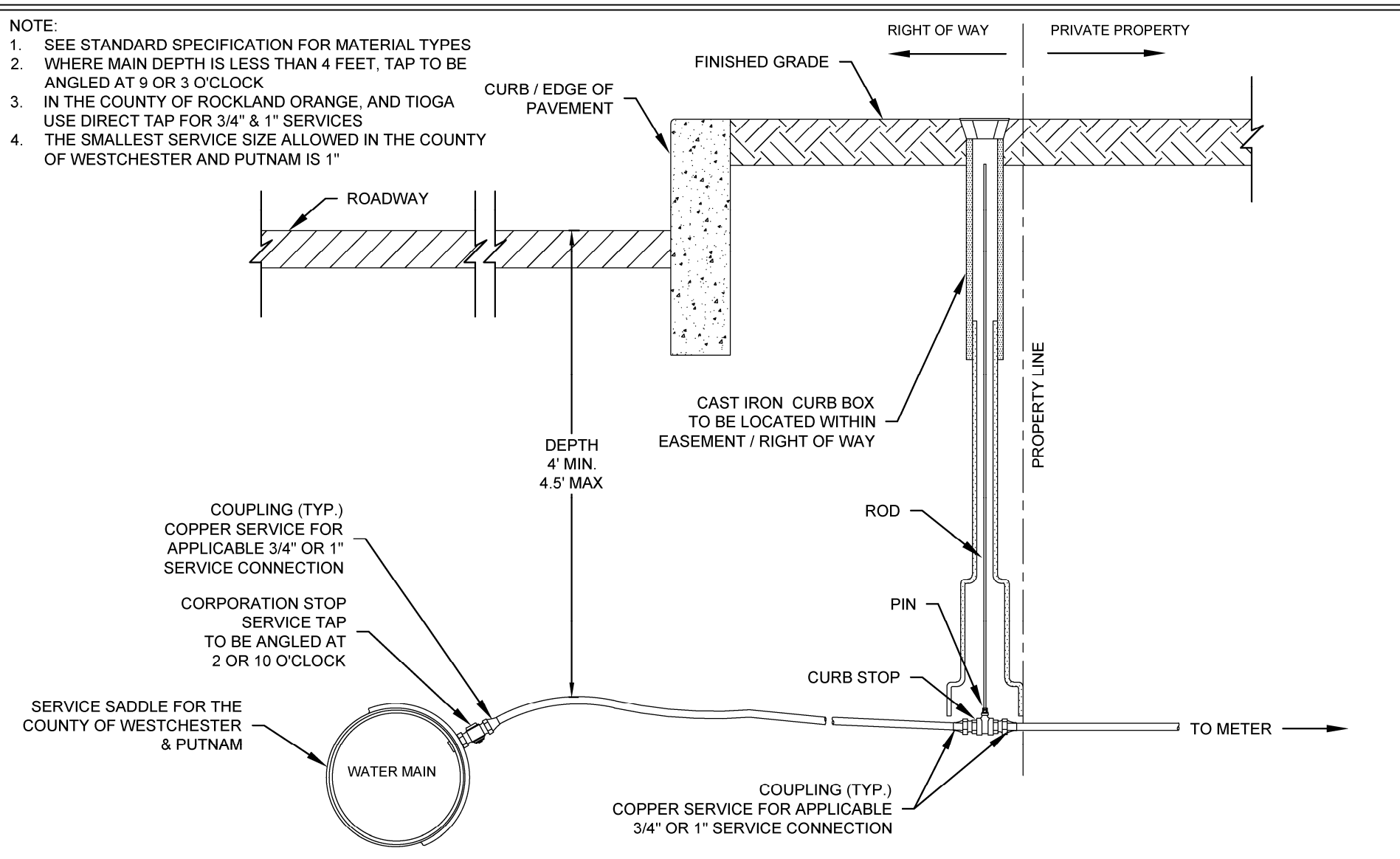
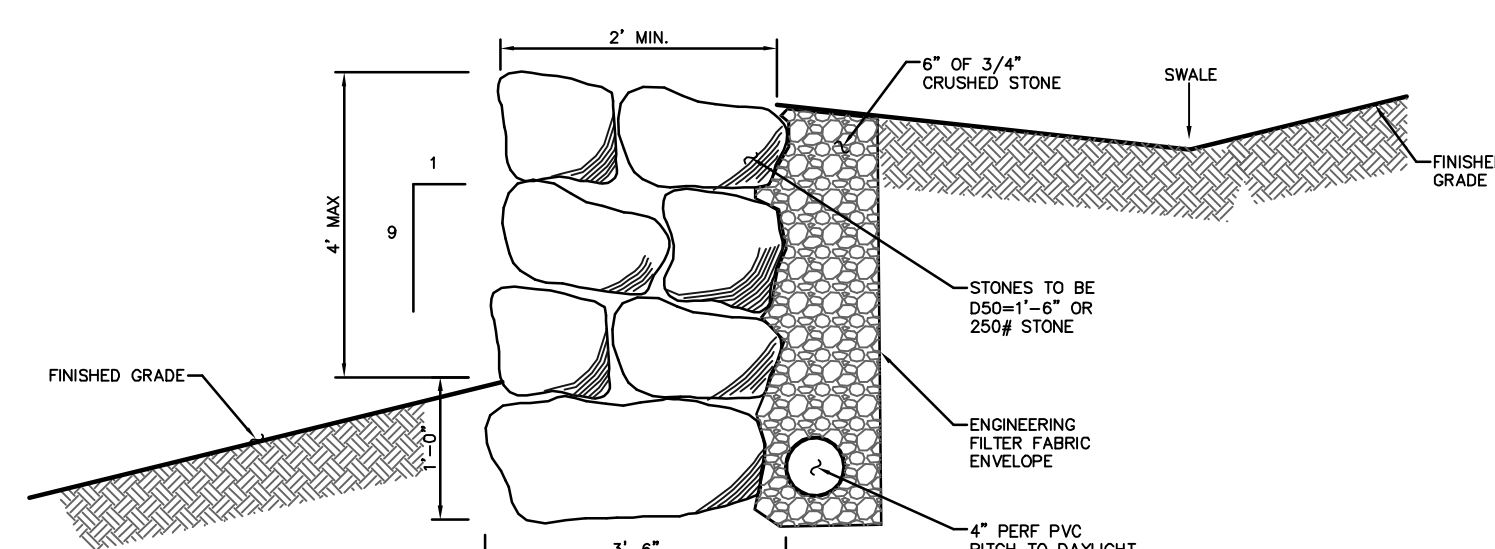
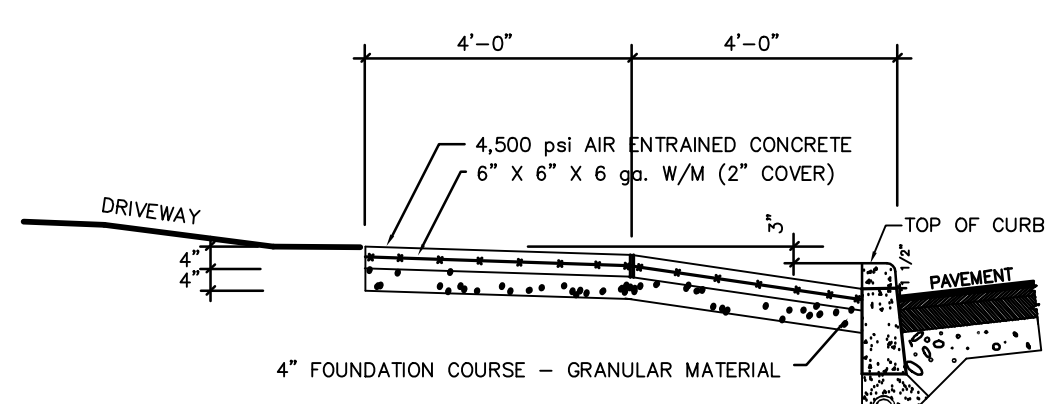
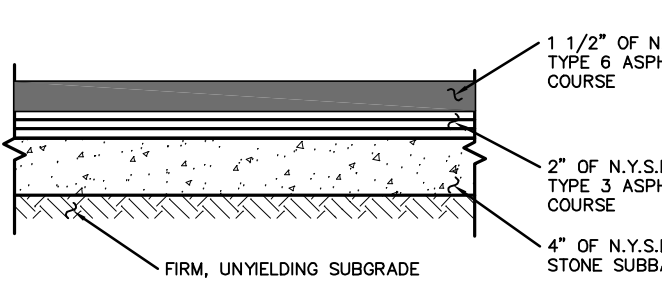
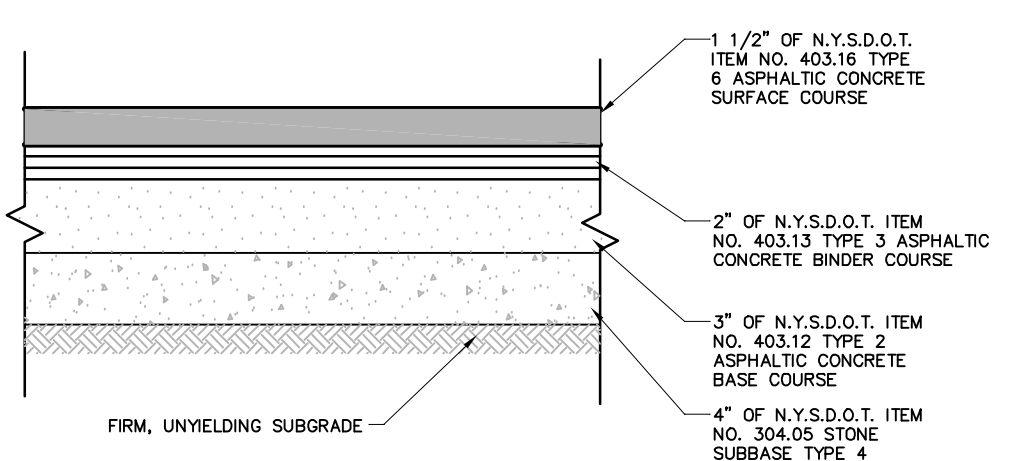
FILE # YB-4606
 DATE MAY 28, 2024
 SCALE AS NOTED
 SHEET 10 OF 12



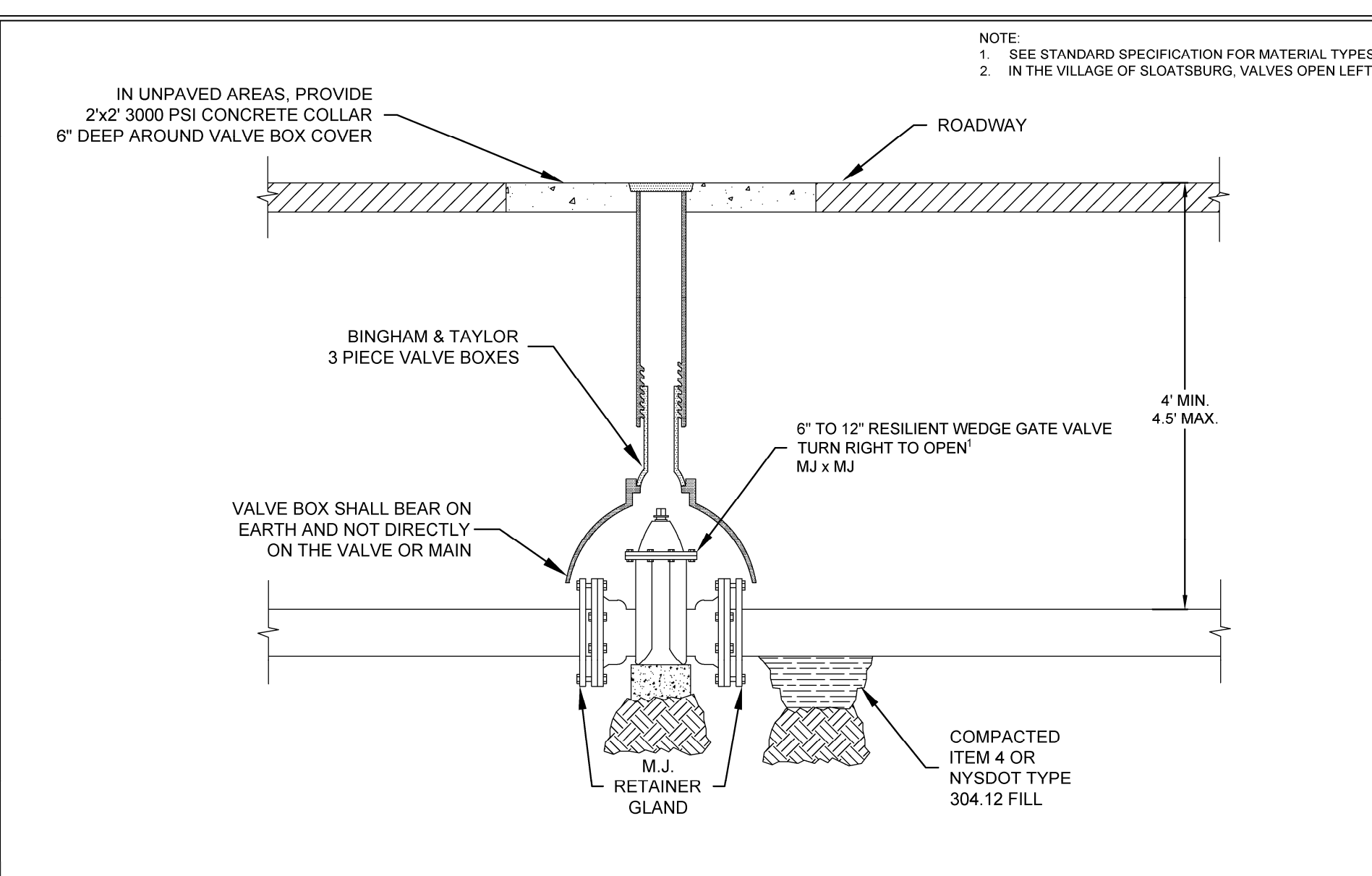
SIZE OF SERVICE	SIZE OF METER	LENGTH OF METER
3/4"	5/8"	7 1/2"
1"	1"	10 3/4"



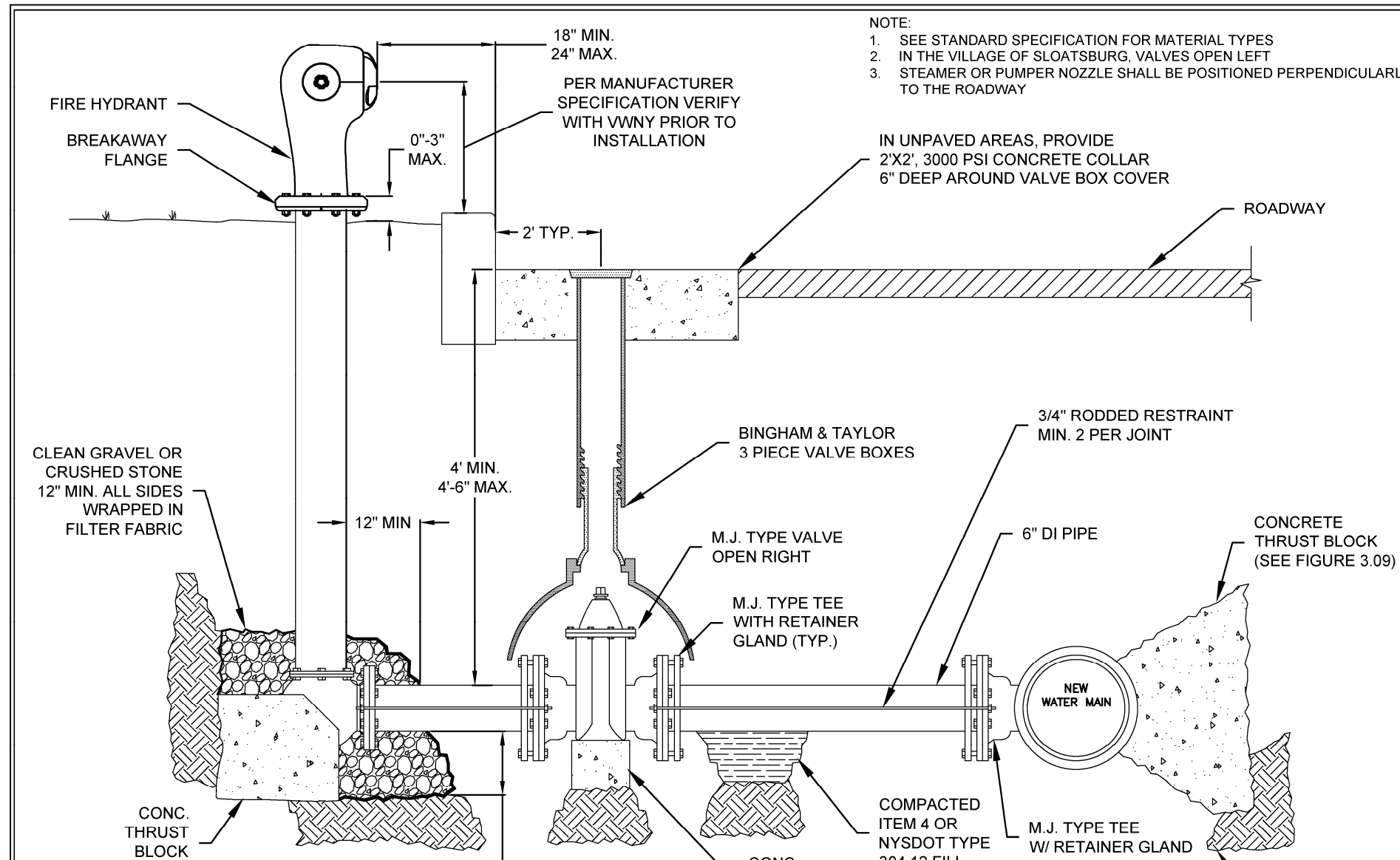
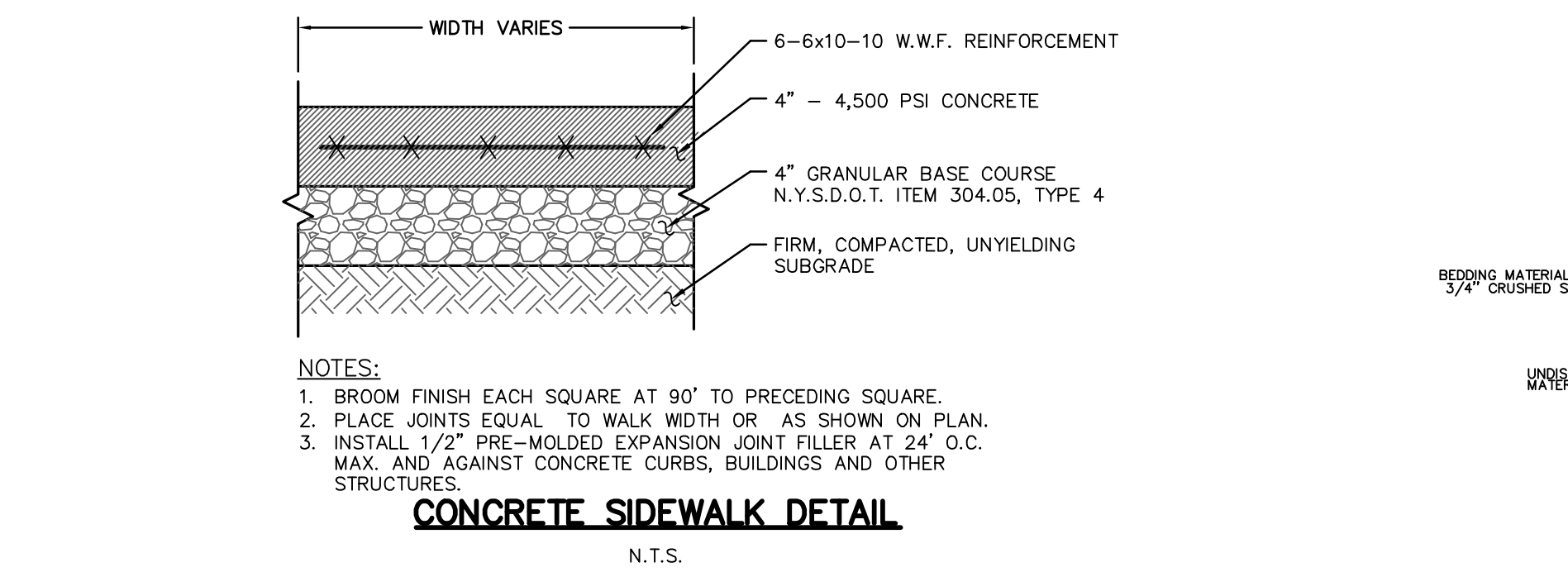
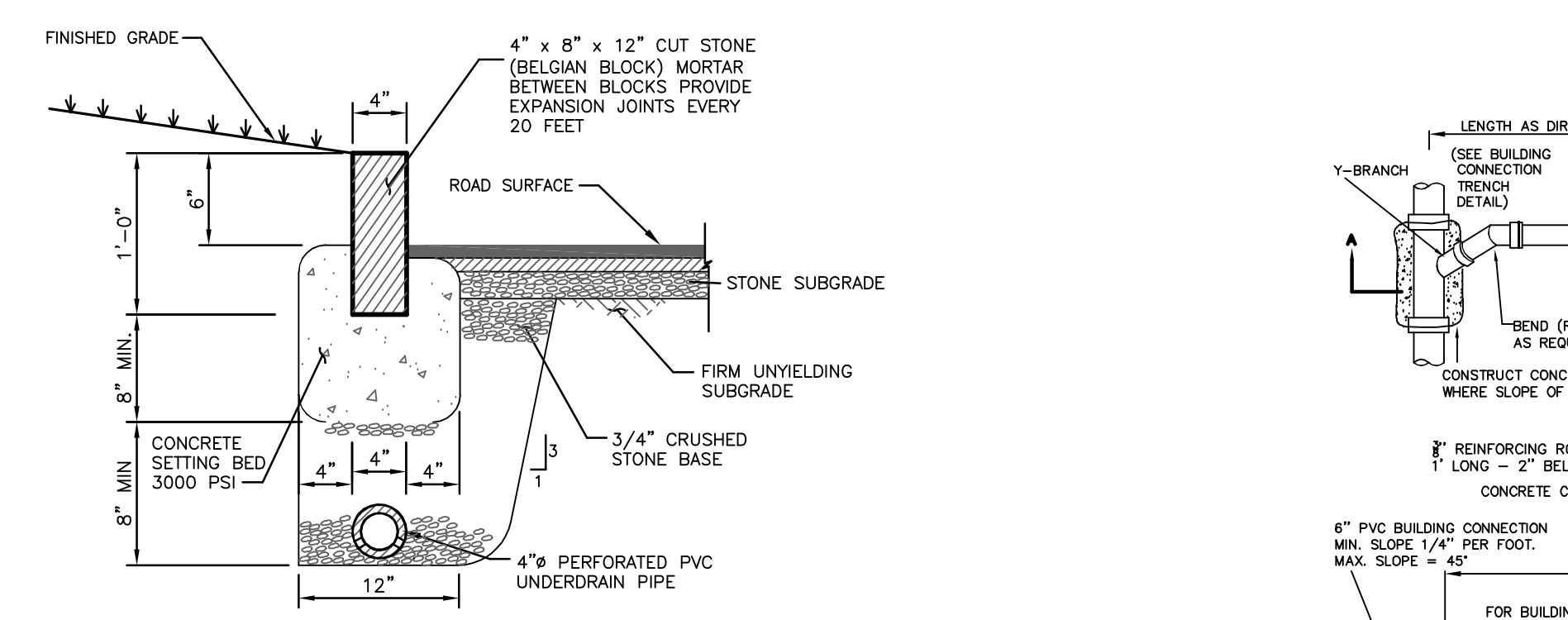
VEOLIA		3/4" TO 1" DOMESTIC SERVICE - METER PIT	
VEOLIA WATER NEW YORK 142 OLD MILL ROAD, WEST HAVEN, NY 10994 (845) 420-3334	DRAFTED BY: MS APPROVED BY: WVNY DIV. NB	DWG 5.01	DATE: 11/1/2022
SCALE: N.T.S.			



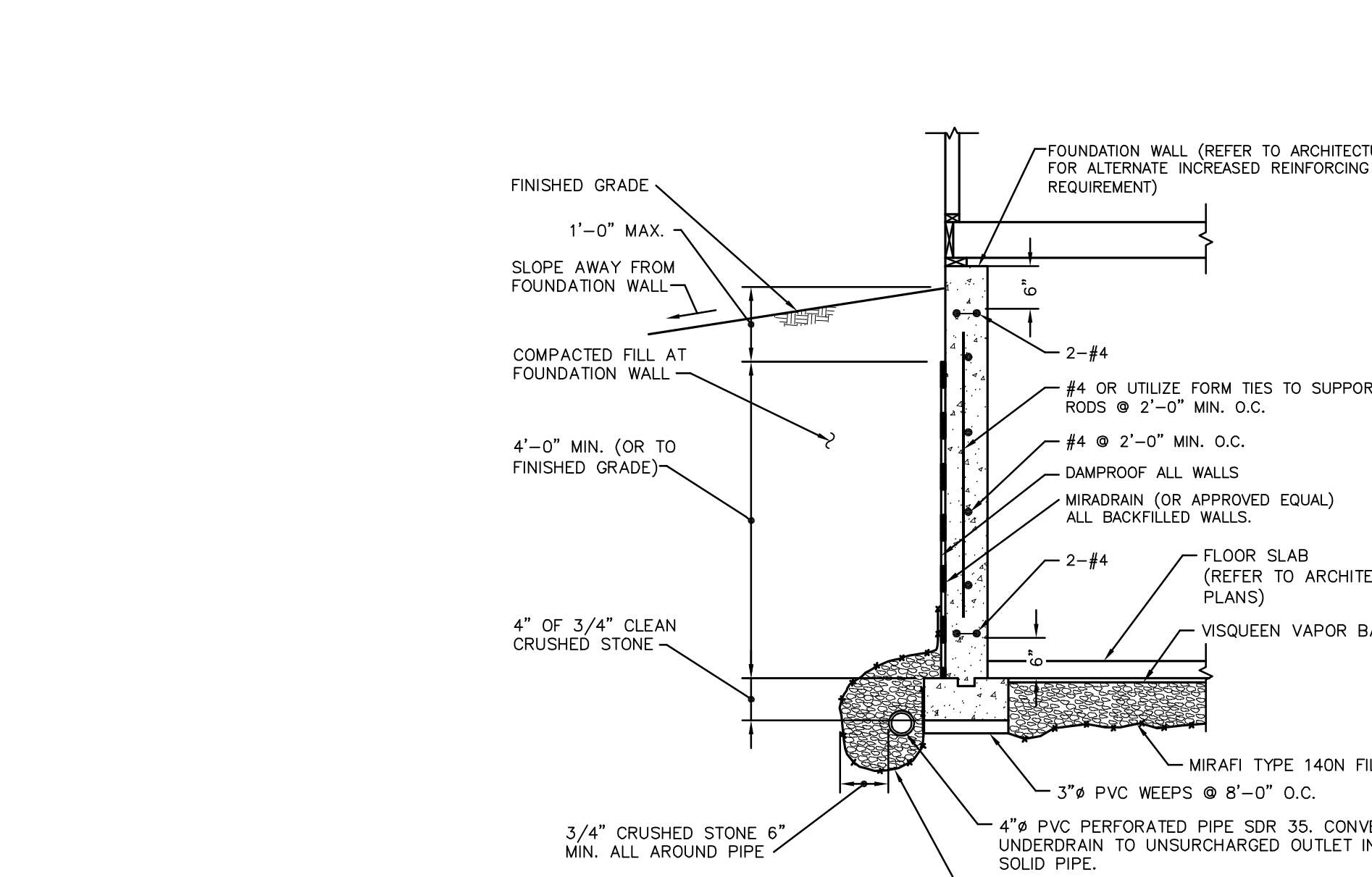
VEOLIA		SPECIFICATION DETAILS		DOMESTIC SERVICE CONNECTION 3/4" & 1" SERVICE CONNECTION	
VEOLIA WATER NEW YORK 142 OLD MILL ROAD, WEST HAVEN, NY 10994 (845) 420-3334	DRAFTED BY: MS APPROVED BY: WVNY DIV. NB	FIGURE 3.01	DATE: 11/1/2022	INSTALLATION OF WATER SYSTEMS APPURTENANCES	
SCALE: N.T.S.					



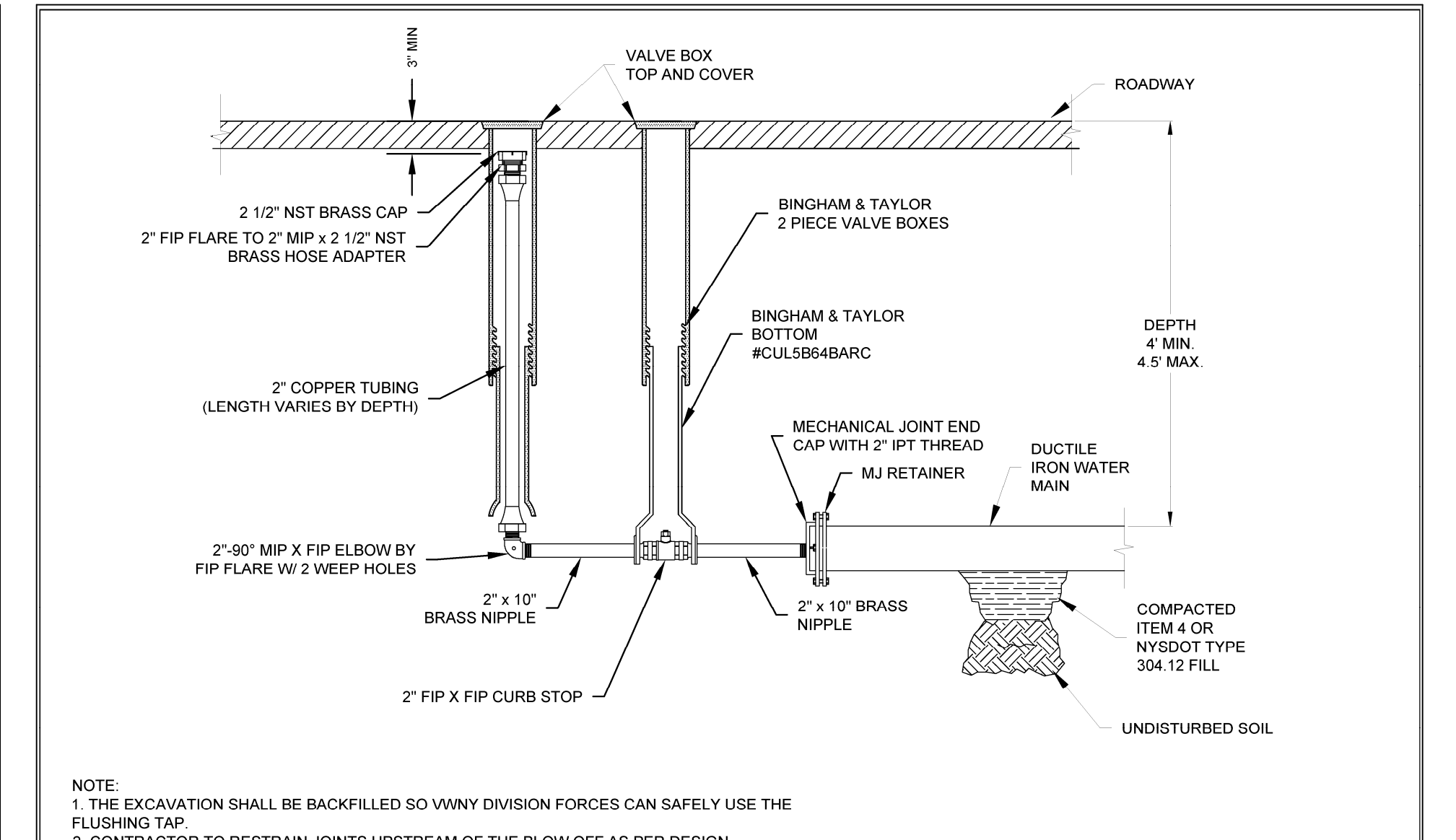
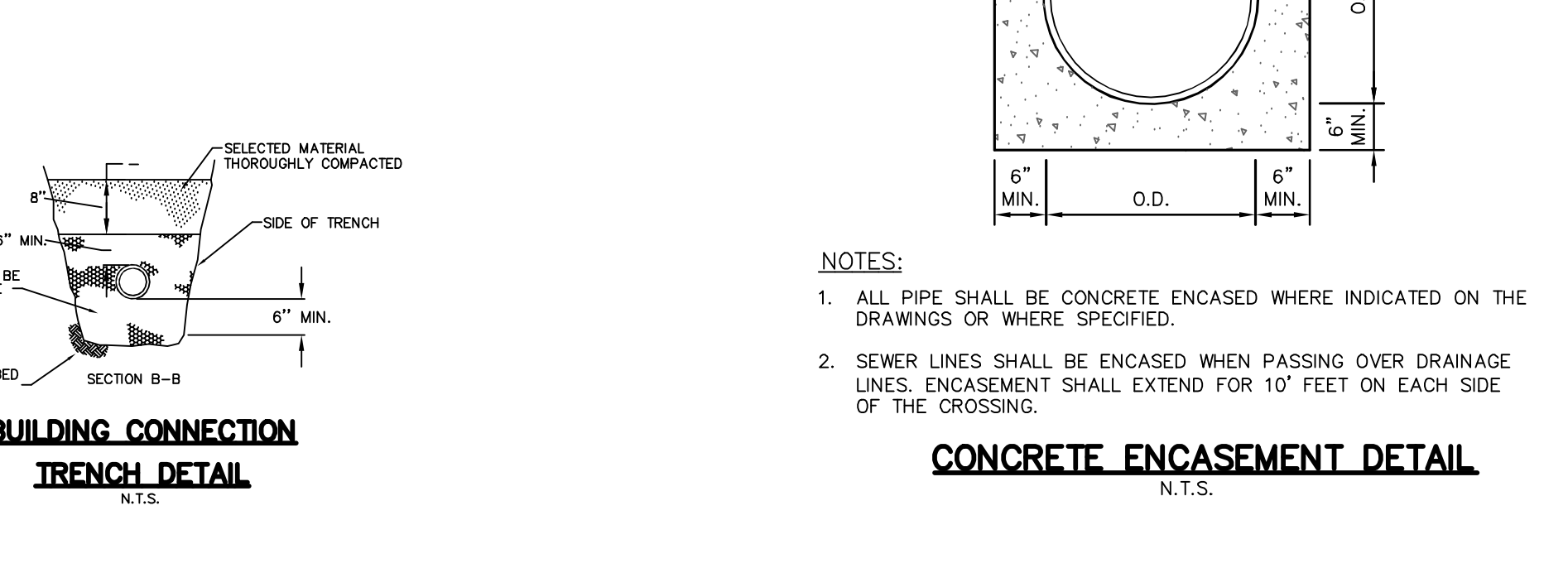
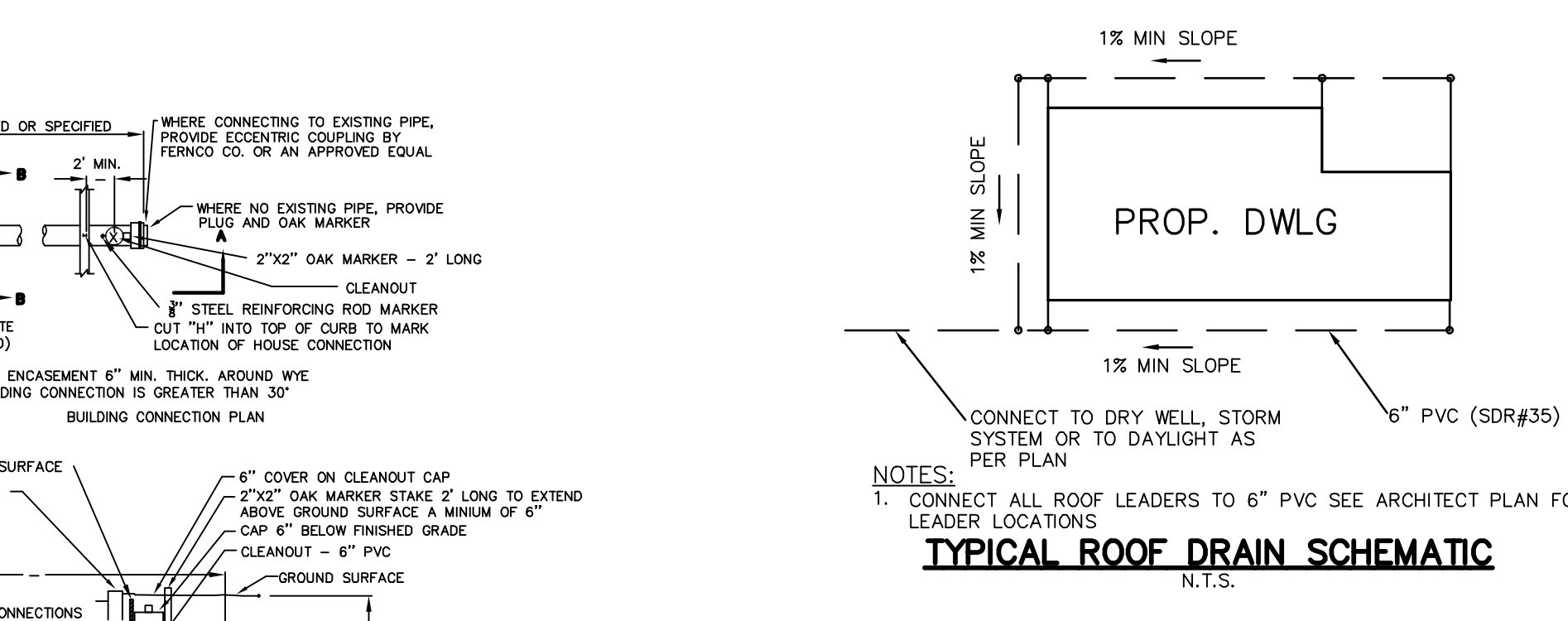
VEOLIA		SPECIFICATION DETAILS		IN-LINE GATE VALVE INSTALLATION	
VEOLIA WATER NEW YORK 142 OLD MILL ROAD, WEST HAVEN, NY 10994 (845) 420-3334	DRAFTED BY: MS APPROVED BY: WVNY DIV. NB	FIGURE 3.08	DATE: 11/1/2022	INSTALLATION OF WATER SYSTEMS APPURTENANCES	
SCALE: N.T.S.					



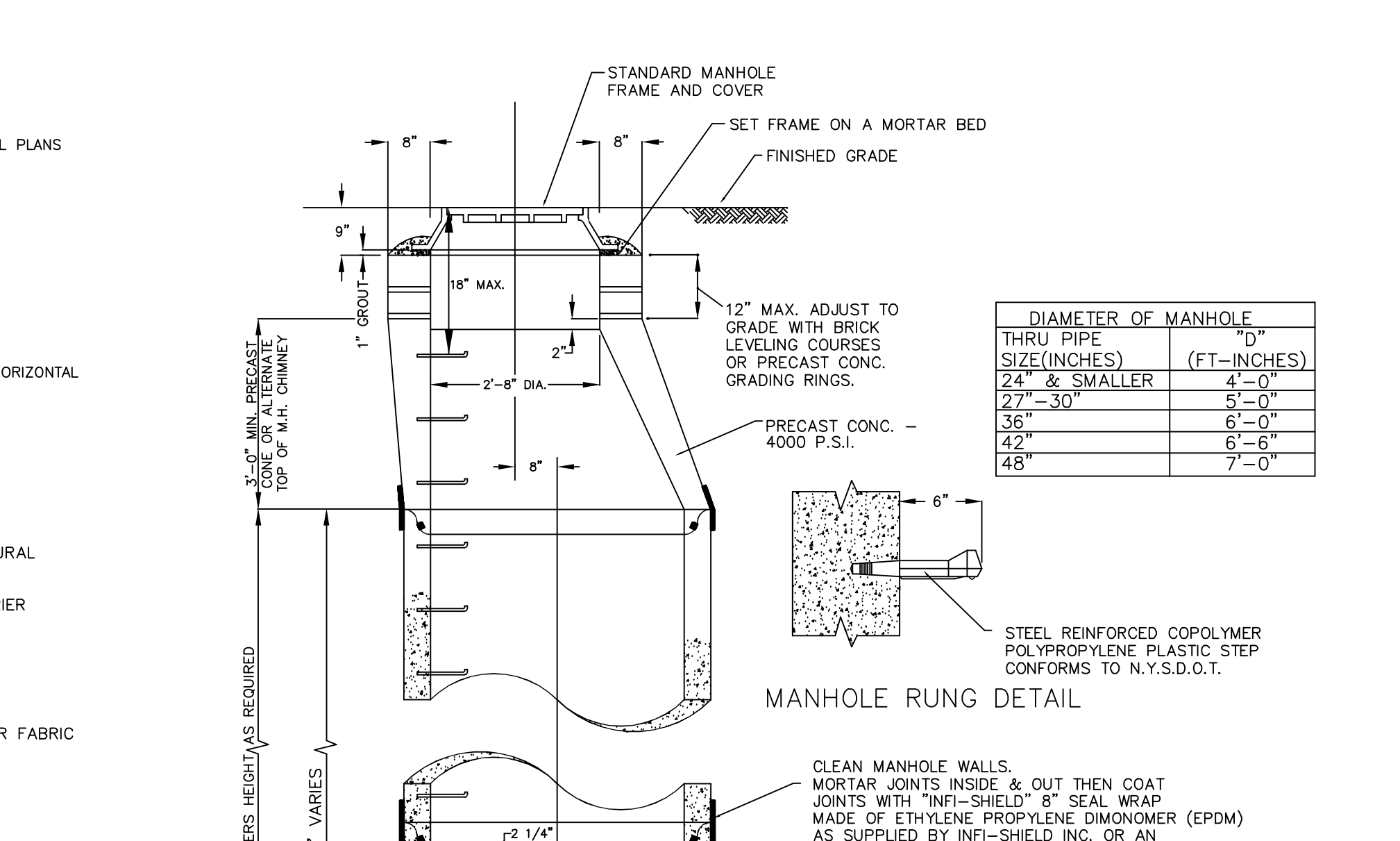
VEOLIA		SPECIFICATION DETAILS		FIRE HYDRANT INSTALLATION DETAIL (NEW MAIN)	
VEOLIA WATER NEW YORK 142 OLD MILL ROAD, WEST HAVEN, NY 10994 (845) 420-3334	DRAFTED BY: MS APPROVED BY: WVNY DIV. NB	FIGURE 3.06	DATE: 11/1/2022	INSTALLATION OF WATER SYSTEMS APPURTENANCES	
SCALE: N.T.S.					



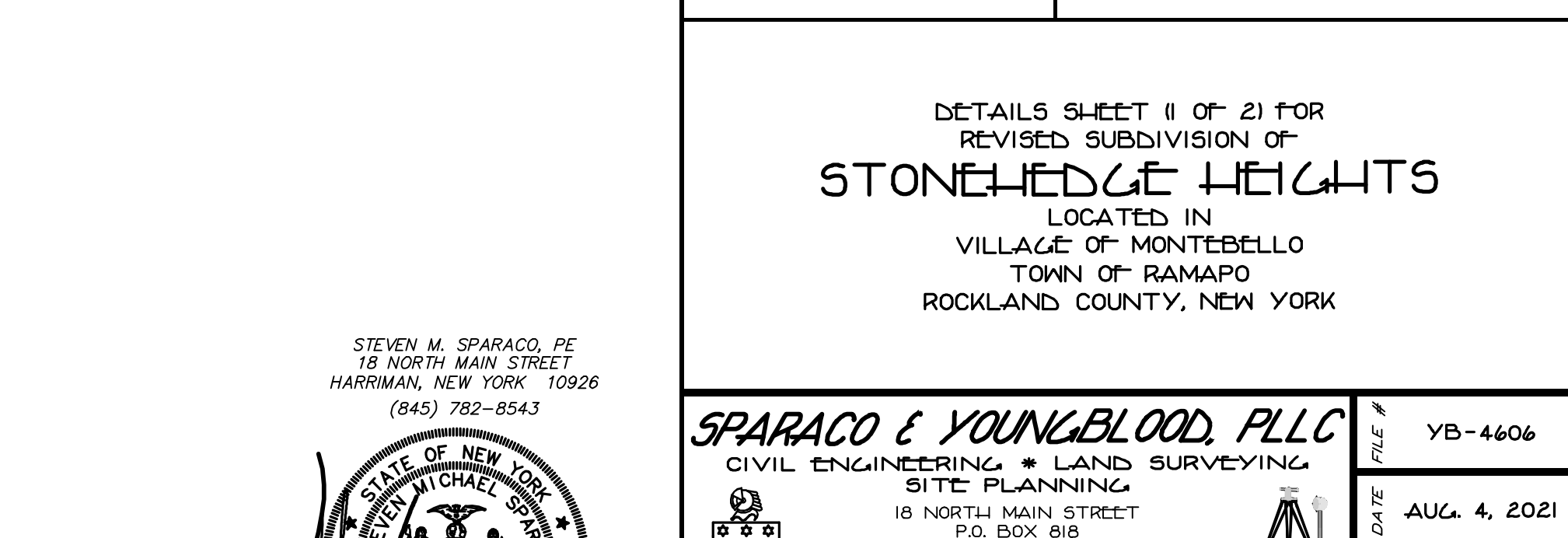
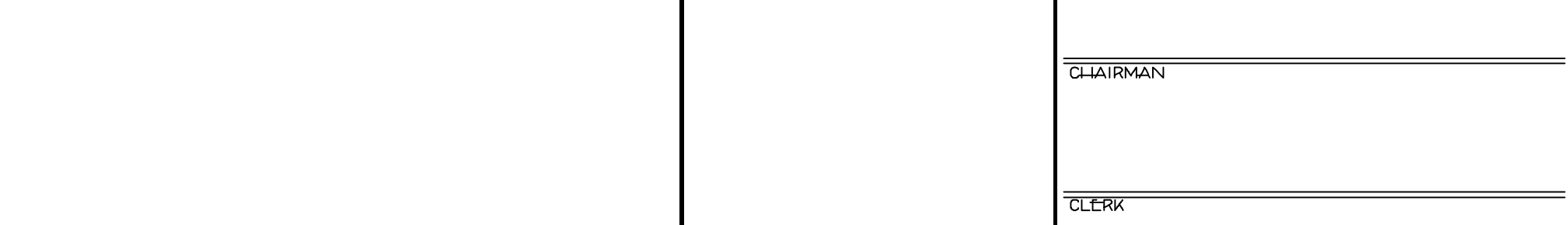
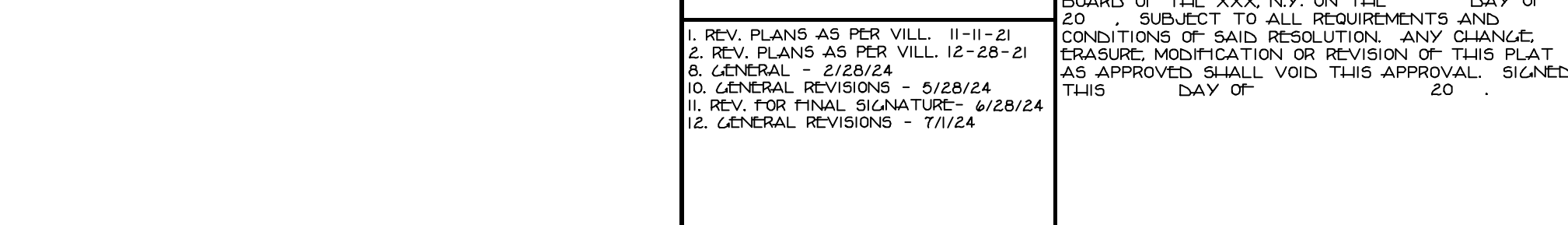
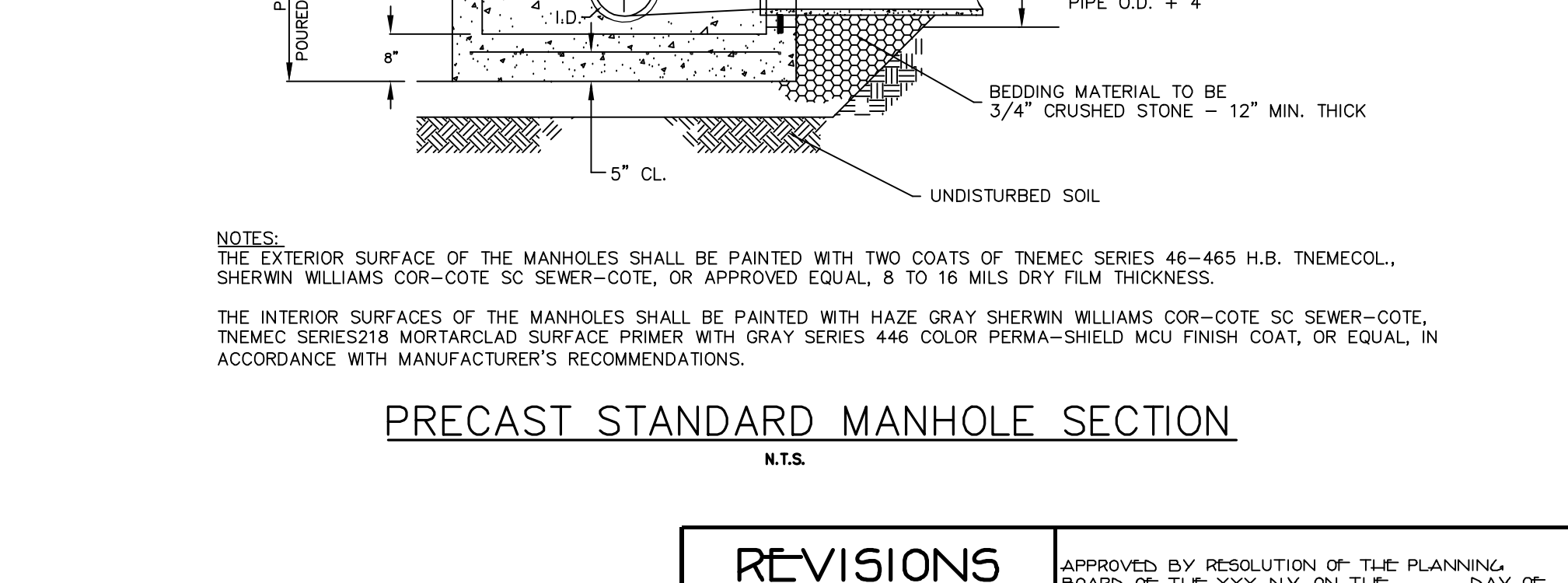
VEOLIA		SPECIFICATION DETAILS		FOUNDATION UNDERDRAIN DETAIL	
VEOLIA WATER NEW YORK 142 OLD MILL ROAD, WEST HAVEN, NY 10994 (845) 420-3334	DRAFTED BY: MS APPROVED BY: WVNY DIV. NB	FIGURE 3.08	DATE: 11/1/2022	INSTALLATION OF WATER SYSTEMS APPURTENANCES	
SCALE: N.T.S.					



VEOLIA		SPECIFICATION DETAILS		PERMANENT BLOW OFF ASSEMBLY COUNTY OF ROCKLAND, ORANGE, AND TIOGA	
VEOLIA WATER NEW YORK 142 OLD MILL ROAD, WEST HAVEN, NY 10994 (845) 420-3334	DRAFTED BY: MS APPROVED BY: WVNY DIV. NB	FIGURE 3.15	DATE: 11/1/2022	INSTALLATION OF WATER SYSTEMS APPURTENANCES	
SCALE: N.T.S.					



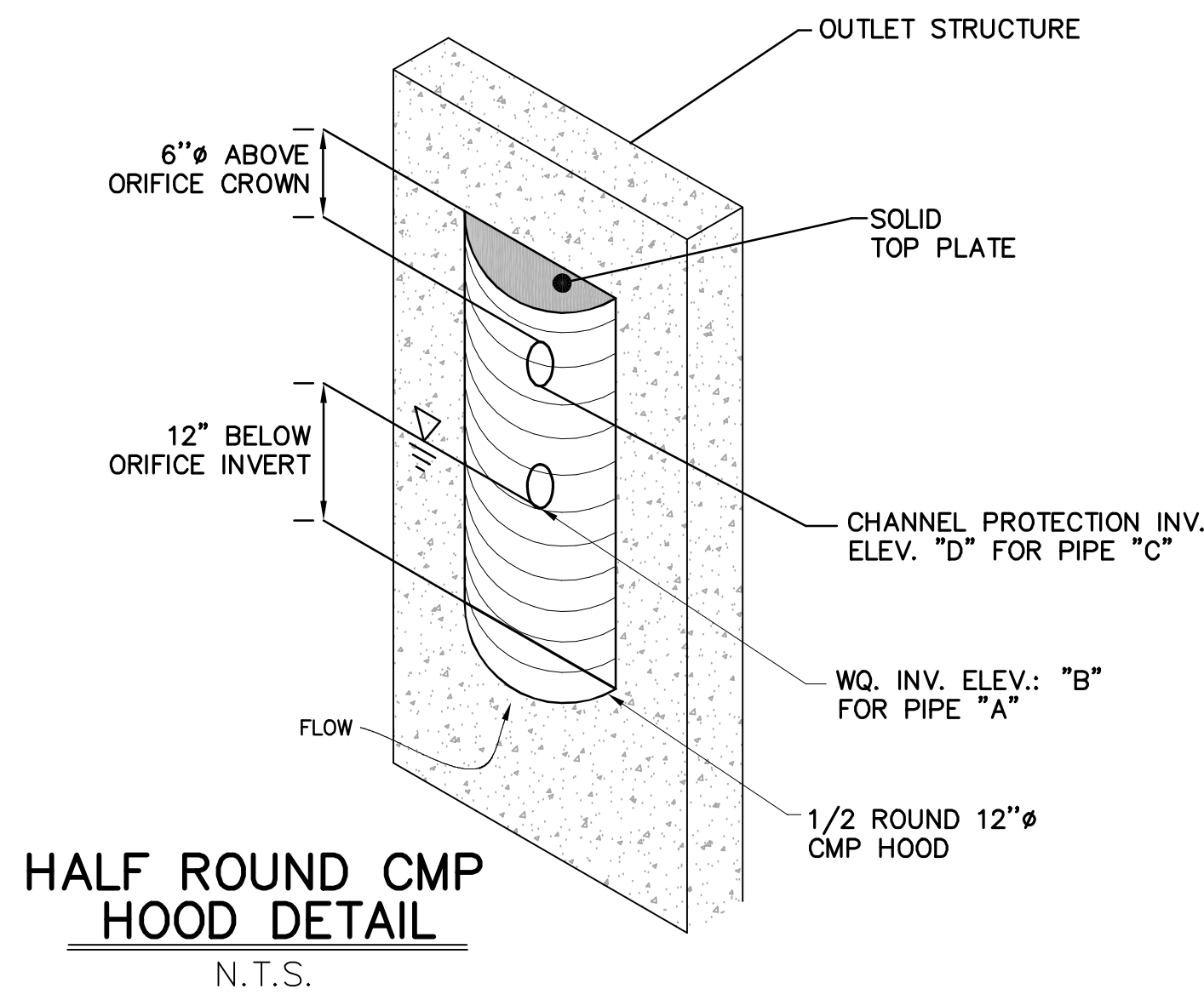
VEOLIA		SPECIFICATION DETAILS		PRECAST STANDARD MANHOLE SECTION	
VEOLIA WATER NEW YORK 142 OLD MILL ROAD, WEST HAVEN, NY 10994 (845) 420-3334	DRAFTED BY: MS APPROVED BY: WVNY DIV. NB	FIGURE 3.15	DATE: 11/1/2022	INSTALLATION OF WATER SYSTEMS APPURTENANCES	
SCALE: N.T.S.					



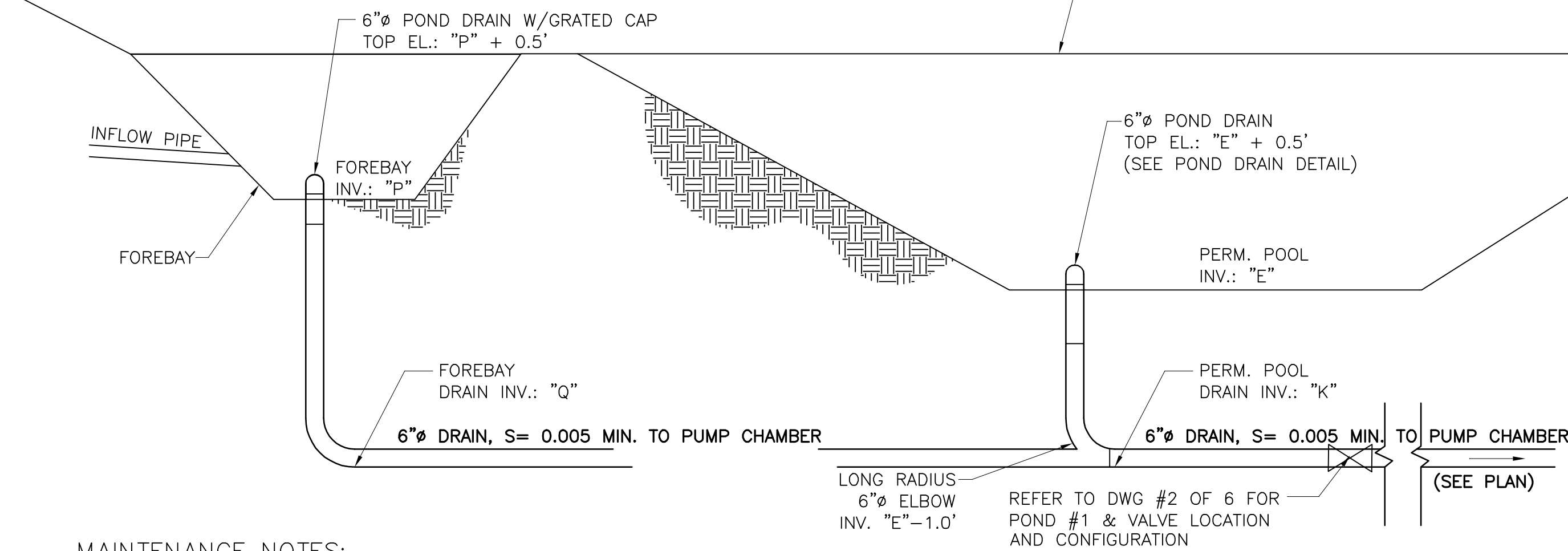
REVISIONS	
1. REV. PLANS AS PER VILL. 11-11-21	APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE TOWN OF MONTEBELLO, NY, ON THE DAY OF
2. REV. PLANS AS PER VILL. 12-18-21	DOING SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, DELETION, MODIFICATION OR REVISION OF THIS PLAN AS APPROVED SHALL VOID THIS APPROVAL. SIGNED
3. GENERAL REVISIONS - 2/28/24	DATE: 2/28/24
4. GENERAL REVISIONS - 5/28/24	DATE: 5/28/24
5. REV. FOR FINAL SIGNATURE - 6/28/24	DATE: 6/28/24
6. GENERAL REVISIONS - 7/1/24	DATE: 7/1/24

DETAILS SHEET (1 OF 2) FOR REVISED SUBDIVISION OF STONEHEDGE HEIGHTS LOCATED IN VILLAGE OF MONTEBELLO TOWN OF RAMAPO ROCKLAND COUNTY, NEW YORK	
CHAIRMAN	
CLERK	
SPARACO & YOUNGBLOOD, PLLC CIVIL ENGINEERING & LAND SURVEYING SITE PLANNING 18 NORTH MAIN STREET P.O. BOX 818 HARRISBURG, N.Y. 10926 TEL: (845) 782-8543 FAX: (845) 782-0901 WWW.SPACONYS.COM WDWLS1@GMAIL.COM	
YB-4606	DATE: AUG 4, 2021
SCALE: 1" = 50'	
DWG: 11 OF 12	





HALF ROUND CMP HOOD DETAIL
N.T.S.



MAINTENANCE NOTES:

1. A LEGALLY BINDING MAINTENANCE AGREEMENT TO BE PREPARED FOR THE VILLAGE OF MONTEBELLO FOR FUTURE MAINTENANCE AND UPKEEP AS MAINTAINED BY THE HOMEOWNERS ASSOC.
2. AN ACCESS AND MAINTENANCE EASEMENT TO BE PROVIDED TO THE VILLAGE OF MONTEBELLO.
3. FOREBAY SEDIMENT REMOVAL TO BE PERFORMED EVERY FIVE TO SIX YEARS OR WHEN THE FOREBAY IS 50% FULL.

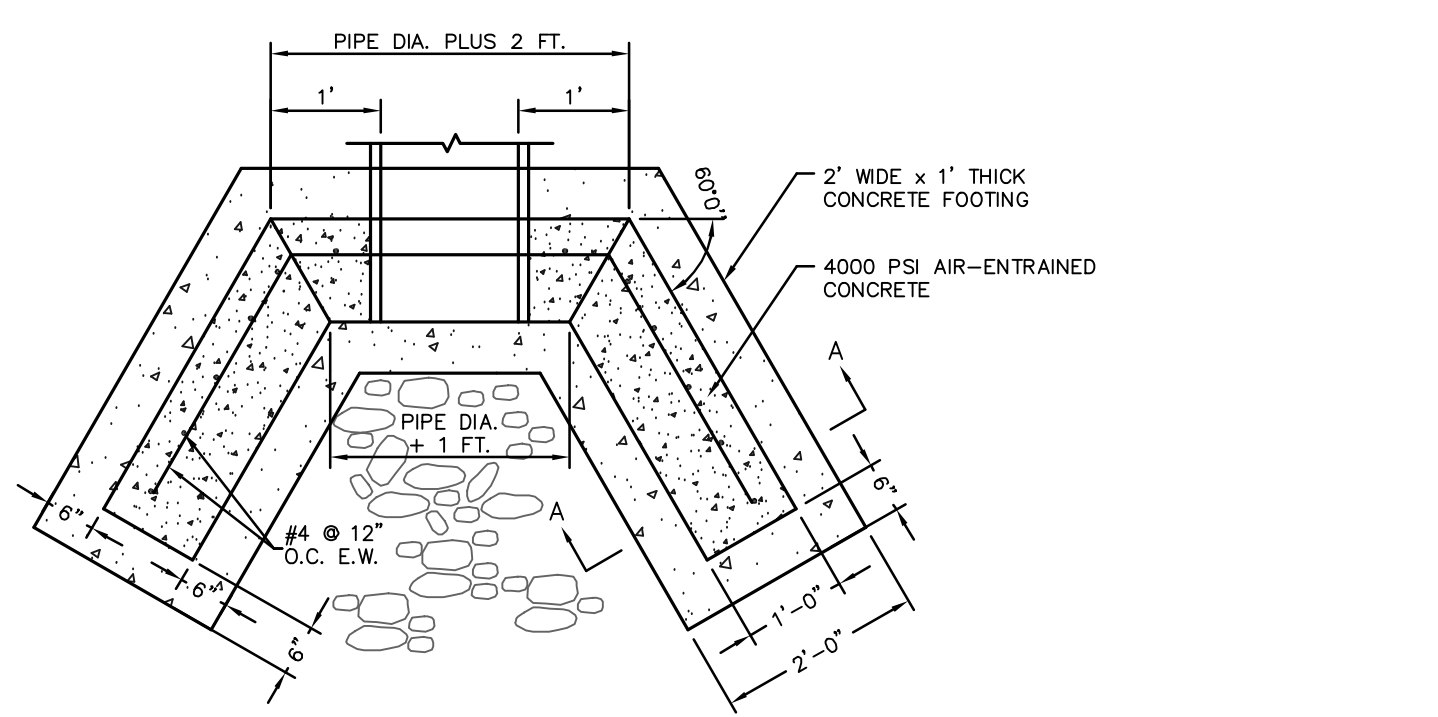
OUTLET STRUCTURE AND SECTION THRU DET. BASIN
N.T.S.

WQ BASIN	WQ ORIFICE	WQ INV. EL.	CP ORIFICE	CP INV. EL.	LOW POND INV. EL.	LOW WEIR EL.	LOW WEIR WIDTH	HIGH WEIR EL.	HIGH WEIR WIDTH	TOP BERM ELEV.	POND DRAIN INV. IN	O.S. SUMP INV.	O.S. ST. INV. OUT	SIZE PIPE FROM O.S.	FOREBAY INV. EL.	FOREBAY DRAIN INV. EL.	POND TYPE
#	A	B	C	D	E	F	G	H	W	J	K	L	M	N	P	Q	
POND-1	2"	500.5	2.7"	503.0	495.0	504.9	6.0'	505.6	20'	507.3	489.8	499.5	500.5	36"	500.0	496.0	P-1

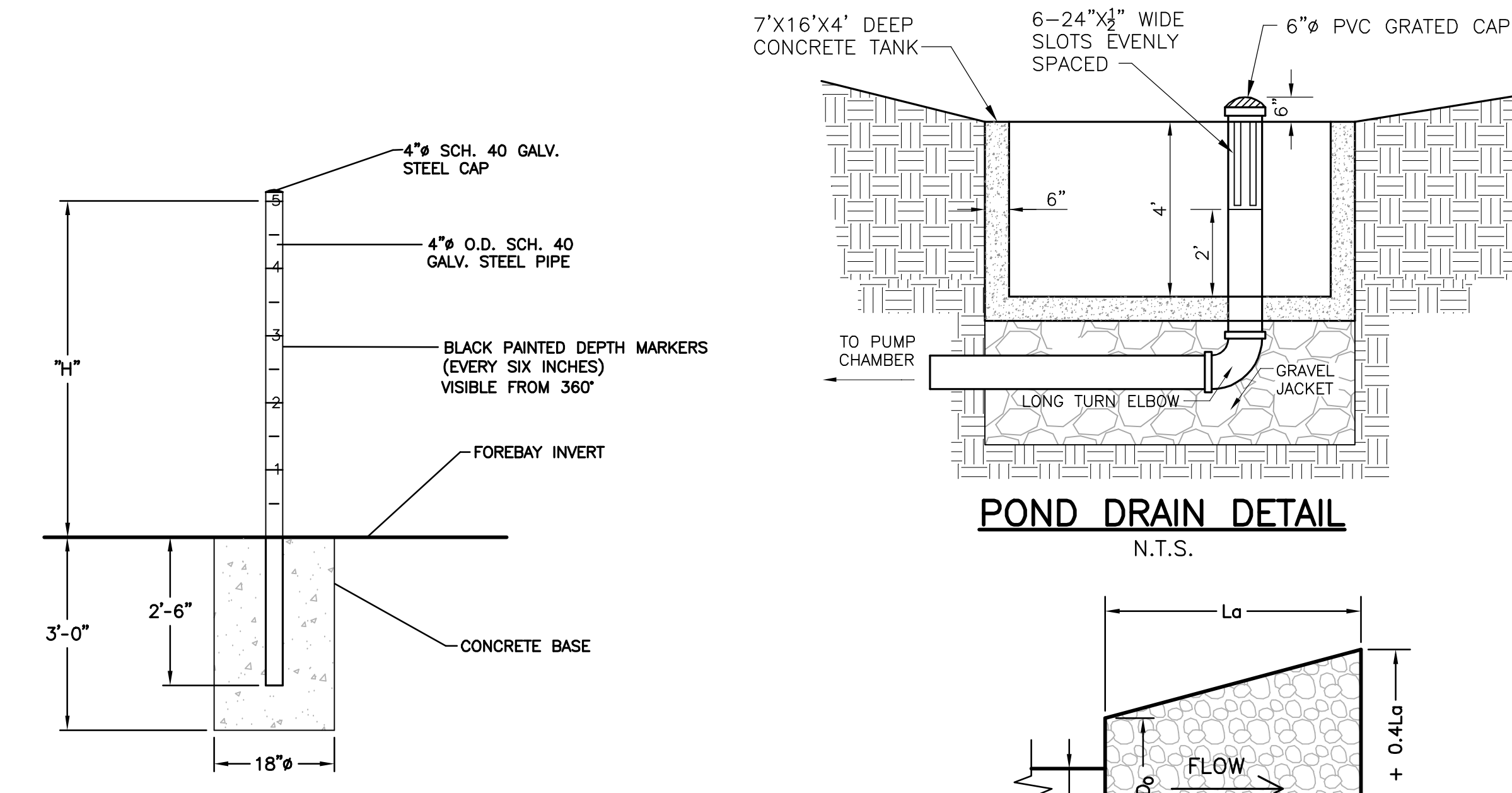
BASIN & OUTLET STRUCTURE DIMENSIONS AND ELEVATIONS CHART

*** BASIN NOTES:**

- ALL BERM FILL TO BE COMPACTED TO 95% MODIFIED PROCTOR MINIMUM DENSITY. LOW PERMEABLE SOIL, FREE OF ORGANIC MATERIALS, TO BE UTILIZED IN BERM CONSTRUCTION. REFER TO "TYPICAL POND SECTION" IN DETAIL SHEETS FOR ADDITIONAL BERM CONSTRUCTION DETAILS.
- A LANDSCAPING PLAN FOR THE STORM WATER DETENTION AREA AND ITS BUFFER HAS BEEN PREPARED TO INDICATE HOW AQUATIC AND TERRESTRIAL AREAS WILL BE VEGETATIVELY STABILIZED AND ESTABLISHED. REFER TO LANDSCAPING PLAN FOR DETAILS.
- SHOP DRAWINGS OF ALL STRUCTURES TO BE SUBMITTED TO THE DESIGN ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.



HEADWALL DETAIL
N.T.S.



POND DRAIN DETAIL
N.T.S.

DETAIL: FIXED SEDIMENT DEPTH MARKER
N.T.S.

- 1) SHALL BE INSTALLED AT EVERY POND FOREBAY.
- 2) DEPTH MARKER HEIGHT SCHEDULE:

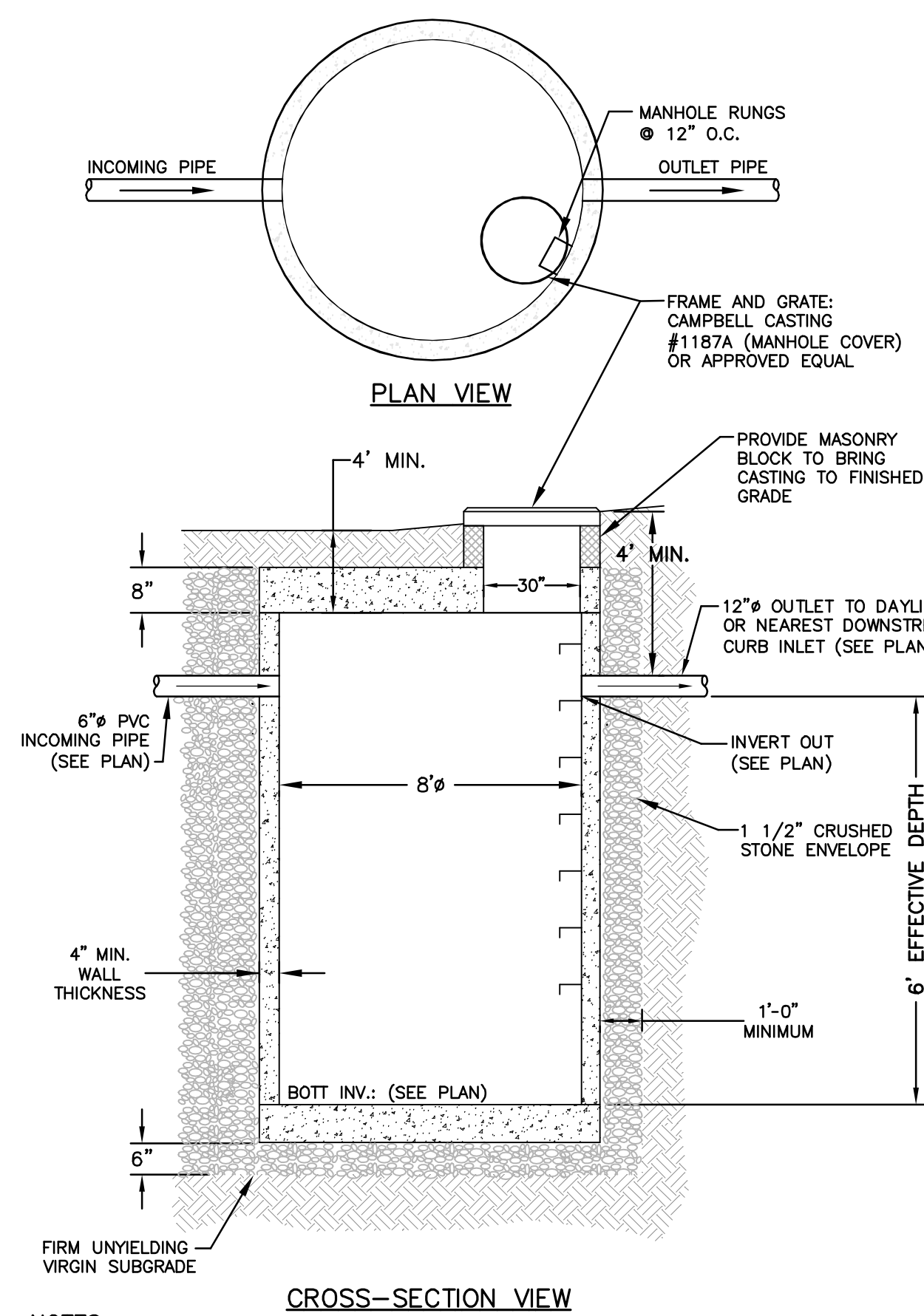
POND #	H"
1,2	5

STUDY POINT	DIMENSIONS (MIN.)					
	D ₀	3D ₀	W	L ₀	D ₅₀	THICKNESS
POND 1	36"	9'	23	20'	0.6'	12"

RIP RAP OUTLET PROTECTION DETAIL
N.T.S.



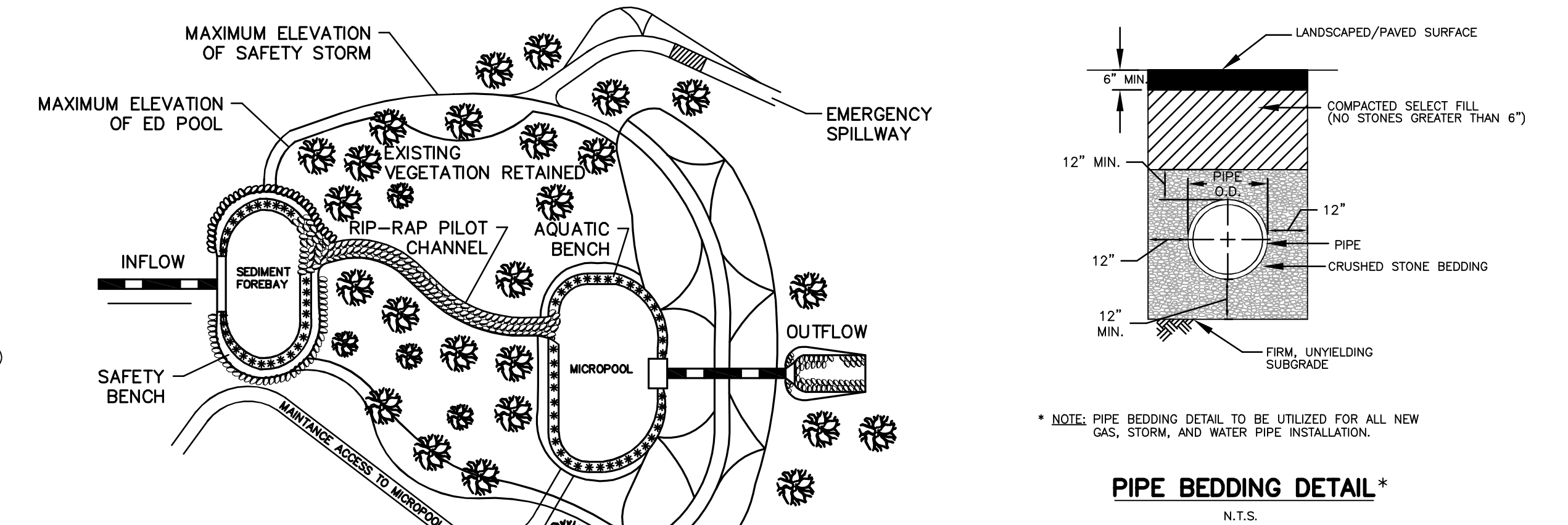
NYSDEC STORMWATER MANAGEMENT PRACTICE SIGN
N.T.S.



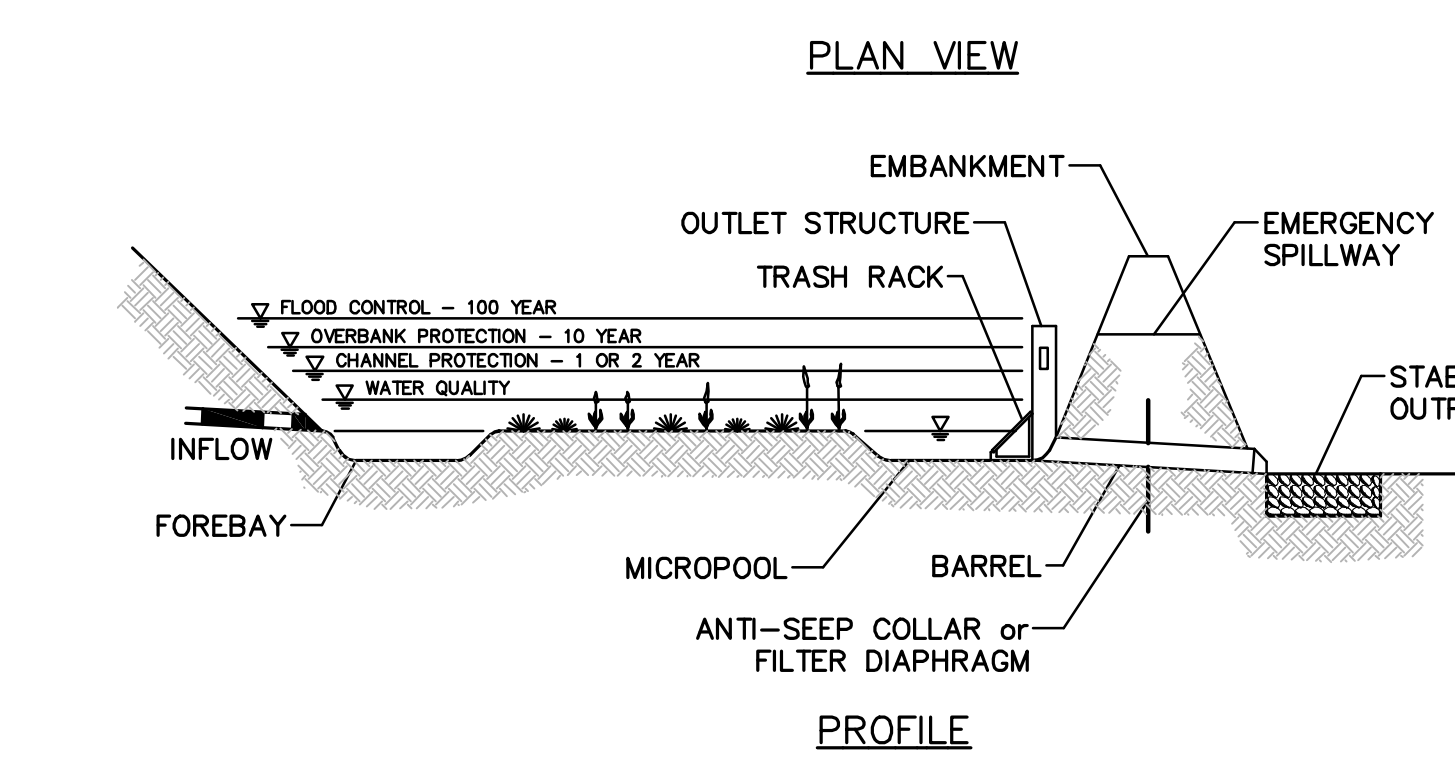
CROSS-SECTION VIEW

1. CONTRACTOR TO SUBMIT P.E. CERTIFIED SHOP DRAWINGS FOR APPROVAL BY THE ENGINEER PRIOR TO CONSTRUCTION.
2. MINIMUM STRENGTH CONCRETE 4000 PSI WALL THICKNESS 4" WITH ADEQUATE STEEL REINFORCEMENT TO WITHSTAND HS20 CONSTRUCTION LOADS.
3. REFER TO GRADING AND UTILITIES PLANS FOR ADDITIONAL SIZING, SPECIFICATION AND CONFIGURATION DETAILS.
4. MINIMUM CISTERN CROWN BURIAL DEPTH OF 4 FEET TO PREVENT FREEZING.
5. CISTERNS WILL BE PROVIDED WITH SUBMERSIBLE PUMPS PIPED TO HOSE REELS MOUNTED AT PROPOSED BUILDINGS ON SITE TO BE USED FOR IRRIGATION OR OTHER PURPOSES. BUILDING MECHANICAL ENGINEER TO SPECIFY SUBMERSIBLE PUMP AND PROVIDE DESIGN SPECIFICATIONS. CISTERNS TO BE DRAINED AFTER EVERY RAIN EVENT EXCEPT WINTER TIME OPERATION WHERE IT WATER WILL BE ALLOWED TO PASS THROUGH DURING STORM EVENTS. CISTERN TO BE DRAINED AND NORMAL OPERATIONS TO RESUME FROM SPRINGTIME THROUGH FALL. DESIGN TO INCLUDE A MANUAL SWITCH ADJACENT TO EACH HOSE REEL AND WILL OPERATE A PUMP TO WATER LAWNS, TREES AND SHRUBS. WHEN A HOSE REEL PUMP IS TURNED OFF THE WATER LINE WILL SELF DRAIN BACK TO THE CISTERN SO THAT THERE WILL BE NO NEED FOR WINTERIZATION.

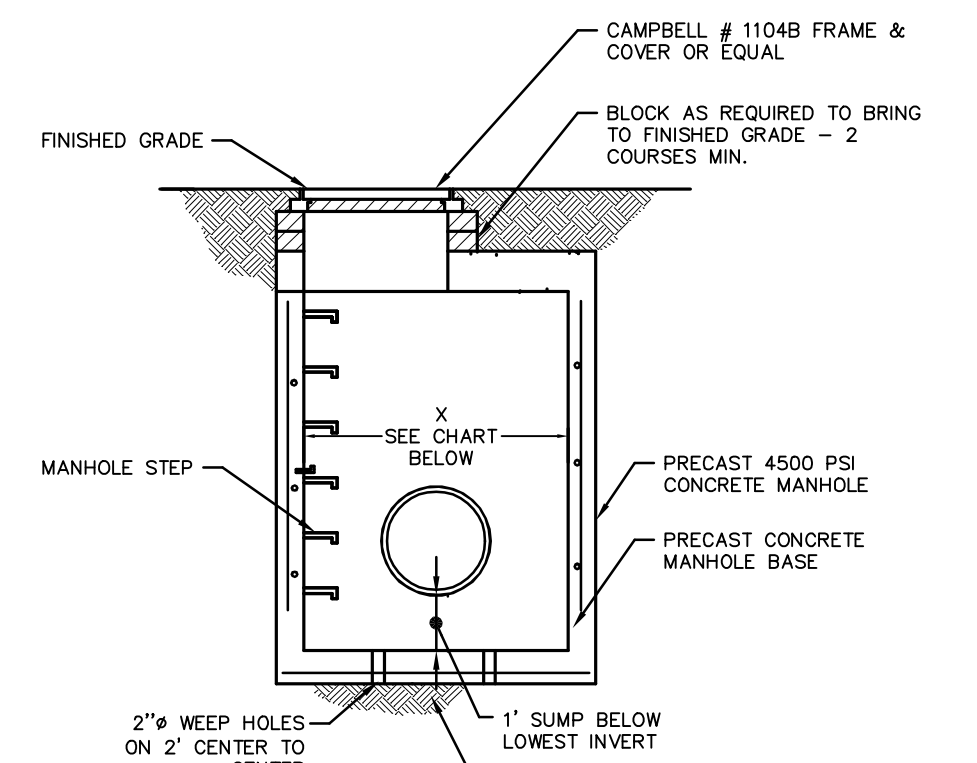
CISTERN DETAIL
N.T.S.



PIPE BEDDING DETAIL*
N.T.S.

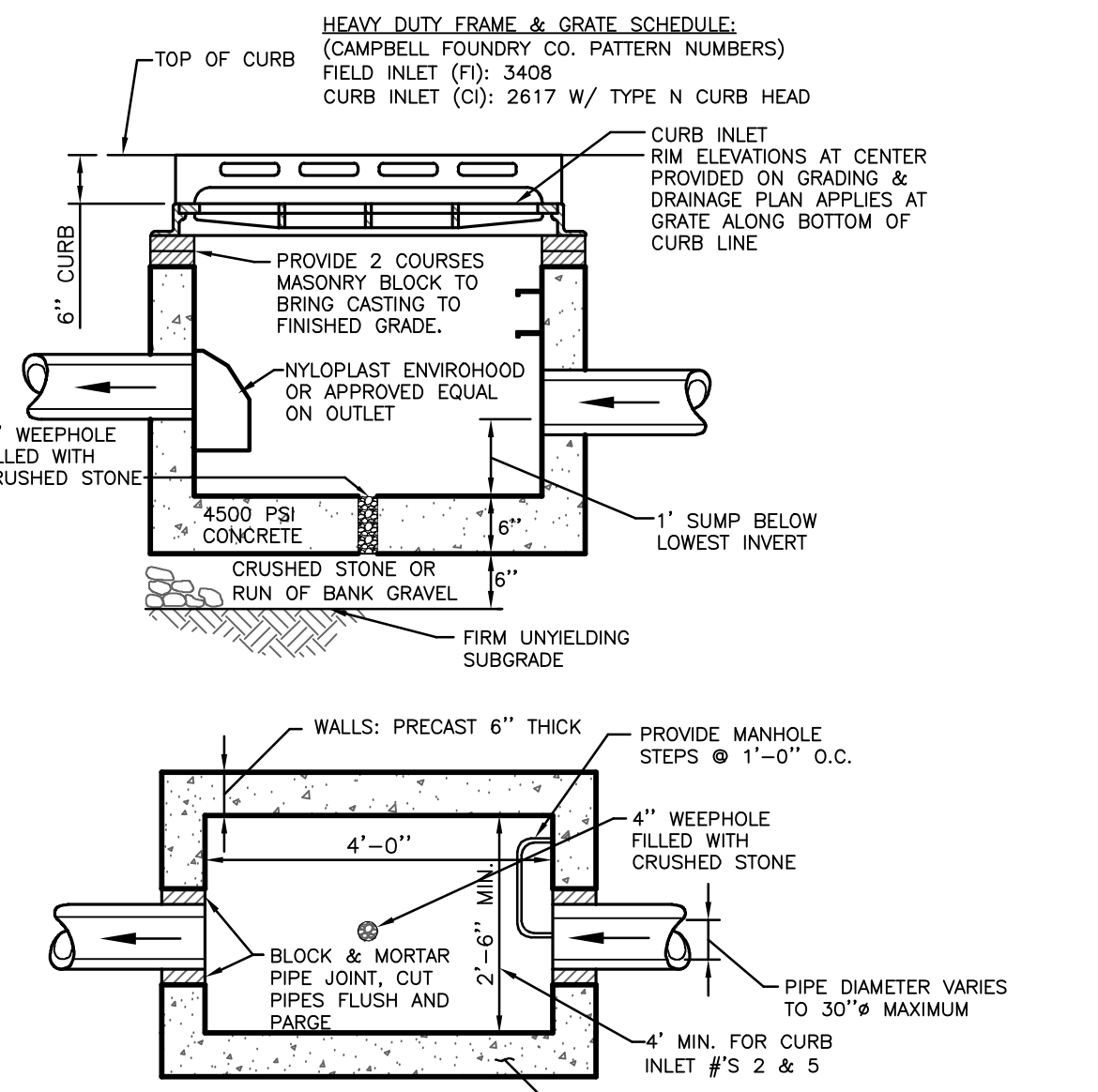


TYPICAL MICROPOL EXTENDED DETENTION POND (P-1) DETAIL
N.T.S.



DRAINAGE MANHOLE (DMH)
N.T.S.

1. MANHOLE TO CONFORM TO A.S.T.M. C478 (LATEST REVISION).
2. PRECAST CONCRETE MANHOLES WITH RESILIENT SEALS AT JOINTS.
3. MANUFACTURER SHALL CERTIFY ALL COMPONENTS MANHOLE FOR HS20 LOADING.
4. RISER SECTION JOINTS SHALL BE FIELD-WORTARED.

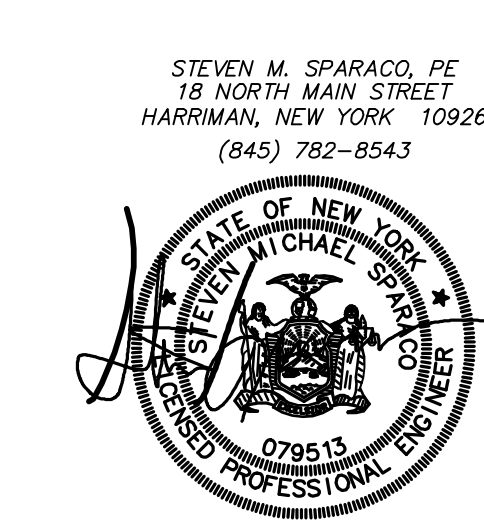


CATCH BASIN, CURB INLET (C) WITH TYPE N HEAD & FIELD INLET (FI) DETAIL
N.T.S.

REVISIONS	
1. REV. PLANS AS PER VILL. 11-17-21	APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE VILL. OF MONTEBELLO, N.Y. ON THE DAY OF 12/17/21
2. REV. PLANS AS PER VILL. 12-28-21	SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE OR MODIFICATION OR REVISION OF THIS PLAN AS APPROVED SHALL VOID THIS APPROVAL, SIGNED THIS DAY OF 12/17/21
3. GENERAL REVISIONS - 2/28/24	
4. GENERAL REVISIONS - 5/28/24	
5. GENERAL REVISIONS - 7/1/24	

CHAIRMAN
CLERK

DETAILS SHEET (2 OF 2) FOR REVISED SUBDIVISION OF STONEHEDGE HEIGHTS LOCATED IN VILLAGE OF MONTEBELLO TOWN OF RAMAPO ROCKLAND COUNTY, NEW YORK



SPARACO & YOUNG BLOOD, PLLC
CIVIL ENGINEERING, LAND SURVEYING, SITE PLANNING
18 NORTH MAIN STREET
P.O. BOX 818
HARRISMAN, N.Y. 09266
TEL: (845) 782-8543
FAX: (845) 782-5900
WWW.SPACOBLOOD.COM WBY@GMAIL.COM

FILE # YB-4606
DATE: AUG. 4, 2021
SCALE: AS NOTED
SHEET: 12 OF 12